



APPENDIX B

Water Use Analysis

Year	Total Usage (Thousand Gallons)	Number of Connections	Usage per Conn (gpd/conn)	Number of ERUs	Usage per ERU (gpd/ERU)
2018	303,105	863	962	848	979
2019	251,780	763	904	806	856
2020	285,109	799	978	855	914
2021	279,736	855	896	924	829
2022	309,026	1,113	761	1,195	708
5-Year Avg:	285,751	879	900	925	846
This Master Plan will use a historic daily usage of 846 gpd/ERU					

Peak Instantaneous Demand Calculations (State)			
Indoor Peak Instantaneous Demand			
	$Q = 10.8 \times N^{.64}$		N= No. of ERU
2024	Q=	1,138	gpm
	Q=	1,132	gpd/ERU
Outdoor Peak Instantaneous Demand			
Irrigation Zone 5 =		9.04	gpm/Irrigated Acre
Irrigated Acres /ERU		0.1	Irrigated Acres/ERU
Q=	Irr Acres/ERU X Irr Zone Factor X No. ERU		
Example:			
2023	Q=	1,308	gpm

Current & Projected Required Source Capacity

Year	# of ERU	Percent Reduction In Usage Per ERU	Peak Day Usage (gpd/ERU)	Source Capacity Required (gpm)	Existing Source Available (gpm)	Treatment Plan Capacity (gpm)	Source Capacity Surplus/Deficit (gpm)
2023	1,315	0.0%	1,692	1,545	1,234	2,000	(311)
2024	1,447	0.0%	1,692	1,700	1,234	2,000	(466)
2025	1,592	0.5%	1,684	1,861	1,234	2,000	(627)
2026	1,751	1.0%	1,675	2,037	1,234	2,000	(803)
2027	1,926	1.5%	1,667	2,229	1,234	2,000	(995)
2028	2,119	2.0%	1,658	2,440	1,234	2,000	(1,206)
2029	2,373	2.5%	1,650	2,719	1,234	2,000	(1,485)
2030	2,658	3.0%	1,641	3,029	1,234	2,000	(1,795)
2031	2,977	3.5%	1,633	3,376	1,234	2,000	(2,142)
2032	3,334	4.0%	1,624	3,761	1,234	2,000	(2,527)
2033	3,734	4.5%	1,616	4,190	1,234	2,000	(2,956)
2034	4,107	5.0%	1,607	4,584	1,234	2,000	(3,350)
2035	4,518	5.5%	1,599	5,017	1,234	2,000	(3,783)
2036	4,970	6.0%	1,590	5,489	1,234	2,000	(4,255)
2037	5,467	6.5%	1,582	6,006	1,234	2,000	(4,772)
2038	6,014	7.0%	1,574	6,572	1,234	2,000	(5,338)
2039	6,495	7.5%	1,565	7,059	1,234	2,000	(5,825)
2040	7,015	8.0%	1,557	7,583	1,234	2,000	(6,349)
2041	7,576	8.5%	1,548	8,145	1,234	2,000	(6,911)
2042	8,182	9.0%	1,540	8,749	1,234	2,000	(7,515)
2043	8,837	9.5%	1,531	9,397	1,234	2,000	(8,163)

$$\text{Required Source Capacity} = \#ERU \times \frac{\text{gpd}}{\#ERU} \times \frac{1 \text{ Day}}{24 \text{ hr}} \times \frac{1 \text{ hr}}{60 \text{ min}}$$



Storage Capacity Analysis												
Year	Number of ERUs	Percent Reduction In Usage Per ERU	Avg. Usage (gpd/ERU)	Storage Required (gal)	Fire Flow Rqd (gal)	Existing Stg Capacity (gal)	Total Stg Rqd (gal)	Storage Capacity Surplus/Deficit (gal)	Project Name	Added Storage (gal)	Potential Capacity (gal)	Potential Surplus (Gal)
2023	1315	0.0%	846	1,112,490	180,000	2,460,000	1,292,490	1,167,510			2,460,000	1,167,510
2024	1447	0.0%	846	1,224,162	180,000	2,460,000	1,404,162	1,055,838			2,460,000	1,055,838
2025	1592	0.5%	842	1,340,098	180,000	2,460,000	1,520,098	939,902	Sandhill Tank 1	2,000,000	4,460,000	2,939,902
2026	1751	1.0%	838	1,466,533	180,000	2,460,000	1,646,533	813,467			4,460,000	2,813,467
2027	1926	1.5%	833	1,604,955	180,000	2,460,000	1,784,955	675,045			4,460,000	2,675,045
2028	2119	2.0%	829	1,756,821	180,000	2,460,000	1,936,821	523,179			4,460,000	2,523,179
2029	2373	2.5%	825	1,957,369	180,000	2,460,000	2,137,369	322,631			4,460,000	2,322,631
2030	2658	3.0%	821	2,181,208	180,000	2,460,000	2,361,208	98,792			4,460,000	2,098,792
2031	2977	3.5%	816	2,430,393	180,000	2,460,000	2,610,393	-150,393			4,460,000	1,849,607
2032	3334	4.0%	812	2,707,741	180,000	2,460,000	2,887,741	-427,741			4,460,000	1,572,259
2033	3734	4.5%	808	3,016,811	180,000	2,460,000	3,196,811	-736,811			4,460,000	1,263,189
2034	4107	5.0%	804	3,300,796	180,000	2,460,000	3,480,796	-1,020,796	Trailhead Tank	500,000	4,960,000	1,479,204
2035	4518	5.5%	799	3,612,005	180,000	2,460,000	3,792,005	-1,332,005	South Concrete Tank	1,000,000	5,960,000	2,167,995
2036	4970	6.0%	795	3,952,343	180,000	2,460,000	4,132,343	-1,672,343			5,960,000	1,827,657
2037	5467	6.5%	791	4,324,452	180,000	2,460,000	4,504,452	-2,044,452			5,960,000	1,455,548
2038	6014	7.0%	787	4,731,695	180,000	2,460,000	4,911,695	-2,451,695	Sandhill Tank 2	2,000,000	7,960,000	3,048,305
2039	6495	7.5%	783	5,082,662	180,000	2,460,000	5,262,662	-2,802,662			7,960,000	2,697,338
2040	7015	8.0%	778	5,459,915	180,000	2,460,000	5,639,915	-3,179,915			7,960,000	2,320,085
2041	7576	8.5%	774	5,864,506	180,000	2,460,000	6,044,506	-3,584,506			7,960,000	1,915,494
2042	8182	9.0%	770	6,298,995	180,000	2,460,000	6,478,995	-4,018,995			7,960,000	1,481,005
2043	8837	9.5%	766	6,765,872	180,000	2,460,000	6,945,872	-4,485,872			7,960,000	1,014,128

$$\text{Required Storage Capacity} = \#ERU \times \frac{\text{gpd}}{\#ERU} + \text{Fire Flow (1,500gpm)} \frac{60 \text{ min}}{1 \text{ hr}} \times 2 \text{ hr}$$



Water Distribution Analysis

Year	No. ERU	ADD (gpm)	PDD (gpm)	PID Indoor (gpm)	PID Outdoor (gpm)	PID Total (gpm)
2023	1,315	773	1,545	1,070	1,189	2,259
2024	1,447	850	1,700	1,138	1,308	2,446
2025	1,592	931	1,861	1,210	1,439	2,649
2026	1,751	1,018	2,037	1,286	1,583	2,869
2027	1,926	1,115	2,229	1,366	1,741	3,108
2028	2,119	1,220	2,440	1,453	1,916	3,368
2029	2,373	1,359	2,719	1,562	2,145	3,707
2030	2,658	1,515	3,029	1,679	2,403	4,082
2031	2,977	1,688	3,376	1,806	2,691	4,497
2032	3,334	1,880	3,761	1,941	3,014	4,955
2033	3,734	2,095	4,190	2,087	3,376	5,463
2034	4,107	2,292	4,584	2,219	3,713	5,931
2035	4,518	2,508	5,017	2,358	4,084	6,443
2036	4,970	2,745	5,489	2,507	4,493	7,000
2037	5,467	3,003	6,006	2,664	4,942	7,606
2038	6,014	3,286	6,572	2,832	5,437	8,269
2039	6,495	3,530	7,059	2,975	5,871	8,846
2040	7,015	3,792	7,583	3,125	6,342	9,467
2041	7,576	4,073	8,145	3,283	6,849	10,132
2042	8,182	4,374	8,749	3,449	7,397	10,845
2043	8,837	4,699	9,397	3,623	7,989	11,612





APPENDIX C

Engineers Opinion of Probable Cost

Engineer's Opinion of Probable Cost					
Treatment Plant Wells					18-Oct-23
Project Location: Colorado City					BCW/tcd
NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 37,800.00	\$ 37,800.00
2	Pre-Construction DVD and Project Sign	1	LS	\$ 1,500.00	\$ 1,500.00
3	GeoPhysical Logging	1	LS	\$ 15,000.00	\$ 15,000.00
4	Disinfection and Capping	1	LS	\$ 4,000.00	\$ 4,000.00
5	Well Driller's Report	1	LS	\$ 2,500.00	\$ 2,500.00
6	Site Restoration	1	LS	\$ 10,000.00	\$ 10,000.00
7	Misc. Electrical Improvements	1	LS	\$ 15,000.00	\$ 15,000.00
DEEP WELL					
8	Conductor Casing	100	LF	\$ 400.00	\$ 40,000.00
9	20" Diameter Well Drilling	700	LF	\$ 123.00	\$ 86,100.00
10	12" Diameter Well Drilling - Pilot Hole	700	LF	\$ 160.00	\$ 112,000.00
11	12" Well Casing	600	LF	\$ 170.00	\$ 102,000.00
12	2" Galvanized Tremie Pipe	100	LF	\$ 40.00	\$ 4,000.00
13	Furnish and Install Pea Gravel	400	LF	\$ 115.00	\$ 46,000.00
14	Bentonite Packer	1	LS	\$ 6,000.00	\$ 6,000.00
15	Conductor Casing Removal	1	LS	\$ 8,000.00	\$ 8,000.00
16	Flow Meter	1	EA	\$ 10,000.00	\$ 10,000.00
17	Initial Well Development	40	HR	\$ 700.00	\$ 28,000.00
18	Install Pump for Development and Testing	1	LS	\$ 40,000.00	\$ 40,000.00
19	Well Development and Pumping	80	HR	\$ 700.00	\$ 56,000.00
20	Misc. Well and Pump Testing	1	LS	\$ 10,000.00	\$ 10,000.00
21	Well Head, Disinfection and Capping	1	LS	\$ 8,500.00	\$ 8,500.00
22	Well Pad and Pipping	1	LS	\$ 15,000.00	\$ 15,000.00
SHALLOW WELL					
23	Conductor Casing	1	LS	\$ 40,000.00	\$ 40,000.00
24	16" Diameter Well Drilling	120	LF	\$ 270.00	\$ 32,400.00
25	8" Well Casing	80	LF	\$ 100.00	\$ 8,000.00
26	8" Stainless Steel Screen	40	LF	\$ 300.00	\$ 12,000.00
27	2" Galvanized Tremie Pipe	20	LF	\$ 40.00	\$ 800.00
28	Instrument Pipe	120	LF	\$ 50.00	\$ 6,000.00
29	Furnish and Install Fine Silica Sand	120	LF	\$ 125.00	\$ 15,000.00
30	Bentonite Packer	1	LS	\$ 6,000.00	\$ 6,000.00
31	Conductor Casing Removal	1	LS	\$ 6,000.00	\$ 6,000.00
32	Sanitary Grout Seal	1	LS	\$ 150.00	\$ 150.00
33	Flow Meter	1	LS	\$ 10,000.00	\$ 10,000.00
34	Initial Well Development	40	HR	\$ 700.00	\$ 28,000.00
35	Install Pump for Development and Testing	1	LS	\$ 40,000.00	\$ 40,000.00
36	Well Development and Pumping	80	HR	\$ 700.00	\$ 56,000.00
37	Misc. Well and Pump Testing	1	LS	\$ 10,000.00	\$ 10,000.00
38	Well Head, Disinfection and Capping	1	LS	\$ 8,500.00	\$ 8,500.00
39	Well Pad and Pipping	1	LS	\$ 15,000.00	\$ 15,000.00
SUBTOTAL					\$ 951,250.00
				CONTINGENCY 20%	\$ 190,300.00
CONSTRUCTION TOTAL					\$ 1,141,600.00
INCIDENTALS					
1	Engineering Design	4.3%	LS	\$ 55,000.00	\$ 55,000.00
2	Bidding & Negotiating	0.6%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	3.7%	HR	\$ 47,600.00	\$ 47,600.00
4	Topographic & Property Survey	0.4%	EST	\$ 5,000.00	\$ 5,000.00
5	Permitting	0.8%	EST	\$ 10,000.00	\$ 10,000.00
6	Funding and Administrative Services	0.9%	EST	\$ 12,000.00	\$ 12,000.00
7	Miscellaneous Professional Services	0.8%	EST	\$ 10,000.00	\$ 10,000.00
SUBTOTAL					\$ 147,100.00
TOTAL PROJECT COST					\$ 1,288,700.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Trailhead Well 1
 Project Location: Hildale City

 18-Oct-23
 BCW/tcd

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 83,600.00	\$ 83,600.00
2	Pre-Construction DVD & Project Sign	1	LS	\$ 1,500.00	\$ 1,500.00
3	Traffic Control	1	LS	\$ 5,000.00	\$ 5,000.00
4	Subsurface Investigation	4	HR	\$ 250.00	\$ 1,000.00
5	Materials Sampling & Testing	1	LS	\$ 7,500.00	\$ 7,500.00
6	Dust Control & Watering	1	LS	\$ 10,000.00	\$ 10,000.00
7	Construction Staking	1	LS	\$ 10,000.00	\$ 10,000.00
8	Erosion Control Compliance	1	LS	\$ 7,500.00	\$ 7,500.00
9	Geophysical Survey	1	LS	\$ 20,000.00	\$ 20,000.00
10	Access and Drill Pad Construction	1	LS	\$ 145,000.00	\$ 145,000.00
11	Conductor Casing and Seal	100	LF	\$ 650.00	\$ 65,000.00
12	Drill 12" Pilot Borehole	600	LF	\$ 160.00	\$ 96,000.00
13	Drill 20" Reamed Borehole	600	LF	\$ 123.00	\$ 73,800.00
14	Geophysical Logging	1	LS	\$ 9,000.00	\$ 9,000.00
15	Well Installation - 12" Steel Casing	500	LF	\$ 170.00	\$ 85,000.00
16	Well Installation - 12" SS Screen 70 Slot	200	LF	\$ 350.00	\$ 70,000.00
17	Installation of Gravel Pack - 8-12	550	LF	\$ 115.00	\$ 63,250.00
18	Installation of Annular Grout Seal	150	LF	\$ 115.00	\$ 17,250.00
19	Initial Well Development	40	HR	\$ 750.00	\$ 30,000.00
20	Install Pump for Development and Testing	1	LS	\$ 42,000.00	\$ 42,000.00
21	Well Development by pumping	80	HR	\$ 425.00	\$ 34,000.00
22	Misc. Well and Pump Testing	1	LS	\$ 10,000.00	\$ 10,000.00
23	Well Disinfecting	1	LS	\$ 5,000.00	\$ 5,000.00
24	Well Head	1	LS	\$ 2,500.00	\$ 2,500.00
25	Well Capping	1	LS	\$ 750.00	\$ 750.00
26	Roadway Restoration	48,000	SF	\$ 6.00	\$ 288,000.00
27	10" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	8,000	LF	\$ 72.00	\$ 576,000.00
28	10" Gate Valve Assembly	4	EA	\$ 5,000.00	\$ 20,000.00
29	Misc. Connections, Fittings and Tie-ins	1	LS	\$ 20,000.00	\$ 20,000.00
SUBTOTAL					\$ 1,798,650.00
CONTINGENCY				20%	\$ 359,700.00
CONSTRUCTION TOTAL					\$ 2,158,400.00
INCIDENTALS					
1	Engineering Design	4.5%	LS	\$ 110,000.00	\$ 110,000.00
2	Bidding & Negotiating	0.3%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	3.7%	HR	\$ 89,900.00	\$ 89,900.00
4	Topographic & Property Survey	0.7%	EST	\$ 17,500.00	\$ 17,500.00
5	Water Right Change Application	0.8%	EST	\$ 20,000.00	\$ 20,000.00
6	Funding and Administrative Services	0.5%	EST	\$ 12,000.00	\$ 12,000.00
7	Permitting	0.4%	EST	\$ 10,000.00	\$ 10,000.00
8	Miscellaneous Professional Services	0.8%	EST	\$ 20,000.00	\$ 20,000.00
SUBTOTAL					\$ 286,900.00
TOTAL PROJECT COST					\$ 2,445,300.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Trailhead Well 2	18-Oct-23
Project Location: Hildale City	BCW/tcd

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 32,000.00	\$ 32,000.00
2	Erosion Control Compliance	1	LS	\$ 5,000.00	\$ 5,000.00
3	Geophysical Survey	1	LS	\$ 20,000.00	\$ 20,000.00
4	Access and Drill Pad Construction	1	LS	\$ 50,000.00	\$ 50,000.00
5	Conductor Casing and Seal	100	LF	\$ 650.00	\$ 65,000.00
6	Drill 12" Pilot Borehole	600	LF	\$ 175.00	\$ 105,000.00
7	Drill 20" Reamed Borehole	600	LF	\$ 123.00	\$ 73,800.00
8	Geophysical Logging	1	LS	\$ 9,000.00	\$ 9,000.00
9	Well Installation - 12" Steel Casing	170	LF	\$ 170.00	\$ 28,900.00
10	Well Installation - 12" SS Screen 70 Slot	200	LF	\$ 350.00	\$ 70,000.00
11	Installation of Gravel Pack - 8-12	550	LF	\$ 115.00	\$ 63,250.00
12	Installation of Annular Grout Seal	150	LF	\$ 115.00	\$ 17,250.00
13	Initial Well Development	40	HR	\$ 750.00	\$ 30,000.00
14	Install Pump for Development and Testing	1	LS	\$ 42,000.00	\$ 42,000.00
15	Well Development by pumping	80	HR	\$ 425.00	\$ 34,000.00
16	Misc. Well and Pump Testing	1	LS	\$ 10,000.00	\$ 10,000.00
17	Well Disinfecting	1	LS	\$ 5,000.00	\$ 5,000.00
18	Well Head	1	LS	\$ 2,500.00	\$ 2,500.00
19	Well Capping	1	LS	\$ 750.00	\$ 750.00
20	8" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	150	LF	\$ 65.00	\$ 9,750.00
21	8" Gate Valve Assembly	1	EA	\$ 2,900.00	\$ 2,900.00
22	Water Right Procurement	1	LS	\$ 650,000.00	\$ 650,000.00
SUBTOTAL					\$ 1,326,100.00
CONTINGENCY				20%	\$ 265,200.00
CONSTRUCTION TOTAL					\$ 1,591,300.00
INCIDENTALS					
1	Engineering Design	2.6%	LS	\$ 45,000.00	\$ 45,000.00
2	Bidding & Negotiating	0.4%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	2.0%	HR	\$ 33,800.00	\$ 33,800.00
4	Topographic & Property Survey	0.2%	EST	\$ 3,500.00	\$ 3,500.00
5	Permitting	0.6%	EST	\$ 10,000.00	\$ 10,000.00
6	Funding and Administrative Services	0.7%	EST	\$ 12,000.00	\$ 12,000.00
39	Miscellaneous Professional Services	0.6%	EST	\$ 10,000.00	\$ 10,000.00
SUBTOTAL					\$ 121,800.00
TOTAL PROJECT COST					\$ 1,713,100.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Hildale Groundwater Project PH I
Project Location: Hildale City

18-Oct-23
BCW/tcd

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 132,900.00	\$ 132,900.00
2	Pre-Construction DVD & Project Sign	1	LS	\$ 1,500.00	\$ 1,500.00
3	Traffic Control	1	LS	\$ 5,000.00	\$ 5,000.00
4	Subsurface Investigation	4	HR	\$ 250.00	\$ 1,000.00
5	Materials Sampling & Testing	1	LS	\$ 7,500.00	\$ 7,500.00
6	Dust Control & Watering	1	LS	\$ 10,000.00	\$ 10,000.00
7	Construction Staking	1	LS	\$ 10,000.00	\$ 10,000.00
8	Erosion Control Compliance	1	LS	\$ 7,500.00	\$ 7,500.00
9	Geophysical Survey	1	LS	\$ 23,000.00	\$ 23,000.00
10	Access and Drill Pad Construction	1	LS	\$ 130,000.00	\$ 130,000.00
11	Conductor Casing and Seal	100	LF	\$ 650.00	\$ 65,000.00
12	Drill 12" Pilot Borehole	650	LF	\$ 175.00	\$ 113,750.00
13	Drill 20" Reamed Borehole	650	LF	\$ 123.00	\$ 79,950.00
14	Geophysical Logging	1	LS	\$ 9,000.00	\$ 9,000.00
15	Caliper	1	LS	\$ 6,500.00	\$ 6,500.00
16	Well Installation - 12" Steel Casing	550	LF	\$ 100.00	\$ 55,000.00
17	Well Installation - 12" SS Screen 70 Slot	200	LF	\$ 350.00	\$ 70,000.00
18	Installation of Gravel Pack - 8-12	600	LF	\$ 115.00	\$ 69,000.00
19	Installation of Annular Grout Seal	150	LF	\$ 115.00	\$ 17,250.00
20	Initial Well Development	40	HR	\$ 750.00	\$ 30,000.00
21	Install Pump for Development and Testing	1	LS	\$ 42,000.00	\$ 42,000.00
22	Well Development by pumping	80	HR	\$ 425.00	\$ 34,000.00
23	Misc. Well and Pump Testing	1	LS	\$ 10,000.00	\$ 10,000.00
24	Well Disinfecting	1	LS	\$ 5,000.00	\$ 5,000.00
25	Well Head	1	LS	\$ 2,500.00	\$ 2,500.00
26	Well Capping	1	LS	\$ 750.00	\$ 750.00
27	Roadway Restoration	30,000	SF	\$ 7.75	\$ 232,500.00
28	8" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	5,000	LF	\$ 65.00	\$ 325,000.00
29	8" Gate Valve Assembly	8	EA	\$ 2,900.00	\$ 23,200.00
30	Misc. Connections, Fittings and Tie-ins	1	LS	\$ 15,000.00	\$ 15,000.00
31	Water Right Procurement	1	LS	\$ 1,300,000.00	\$ 1,300,000.00
SUBTOTAL					\$ 2,833,800.00
CONTINGENCY				20%	\$ 566,800.00
CONSTRUCTION TOTAL					\$ 3,400,600.00
INCIDENTALS					
1	Engineering Design	2.6%	LS	\$ 100,000.00	\$ 100,000.00
2	Bidding & Negotiating	0.2%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	3.0%	HR	\$ 113,400.00	\$ 113,400.00
4	Topographic & Property Survey	0.5%	EST	\$ 20,000.00	\$ 20,000.00
5	Funding and Administrative Services	0.3%	EST	\$ 12,000.00	\$ 12,000.00
5	Permitting	0.3%	EST	\$ 10,000.00	\$ 10,000.00
6	Environmental (Including Biological and Archeological) Report	0.9%	EST	\$ 35,000.00	\$ 35,000.00
8	BLM ROW Negotiation (SF299 Application & POD)	0.3%	EST	\$ 10,000.00	\$ 10,000.00
9	Miscellaneous Engineering Services	0.5%	EST	\$ 20,000.00	\$ 20,000.00
SUBTOTAL					\$ 392,900.00
TOTAL PROJECT COST					\$ 3,793,500.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

 Hildale Groundwater Project PH II
 Project Location: Hildale City

 18-Oct-23
 BCW/tcd

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 152,000.00	\$ 152,000.00
2	Pre-Construction DVD & Project Sign	1	LS	\$ 1,500.00	\$ 1,500.00
3	Traffic Control	1	LS	\$ 5,000.00	\$ 5,000.00
4	Subsurface Investigation	4	HR	\$ 250.00	\$ 1,000.00
5	Materials Sampling & Testing	1	LS	\$ 7,500.00	\$ 7,500.00
6	Dust Control & Watering	1	LS	\$ 10,000.00	\$ 10,000.00
7	Construction Staking	1	LS	\$ 10,000.00	\$ 10,000.00
8	Erosion Control Compliance	1	LS	\$ 7,500.00	\$ 7,500.00
9	Geophysical Survey	1	LS	\$ 23,000.00	\$ 23,000.00
10	Access and Drill Pad Construction	1	LS	\$ 130,000.00	\$ 130,000.00
11	Conductor Casing and Seal	100	LF	\$ 650.00	\$ 65,000.00
12	Drill 12" Pilot Borehole	650	LF	\$ 175.00	\$ 113,750.00
13	Drill 20" Reamed Borehole	650	LF	\$ 123.00	\$ 79,950.00
14	Geophysical Logging	1	LS	\$ 9,000.00	\$ 9,000.00
15	Caliper	1	LS	\$ 6,500.00	\$ 6,500.00
16	Well Installation - 12" Steel Casing	550	LF	\$ 100.00	\$ 55,000.00
17	Well Installation - 12" SS Screen 70 Slot	200	LF	\$ 350.00	\$ 70,000.00
18	Installation of Gravel Pack - 8-12	600	LF	\$ 115.00	\$ 69,000.00
19	Installation of Annular Grout Seal	150	LF	\$ 115.00	\$ 17,250.00
20	Initial Well Development	40	HR	\$ 750.00	\$ 30,000.00
21	Install Pump for Development and Testing	1	LS	\$ 42,000.00	\$ 42,000.00
22	Well Development by pumping	80	HR	\$ 425.00	\$ 34,000.00
23	Misc. Well and Pump Testing	1	LS	\$ 10,000.00	\$ 10,000.00
24	Well Disinfecting	1	LS	\$ 5,000.00	\$ 5,000.00
25	Well Head	1	LS	\$ 2,500.00	\$ 2,500.00
26	Well Capping	1	LS	\$ 750.00	\$ 750.00
27	Roadway Restoration	50,400	SF	\$ 7.75	\$ 390,600.00
28	8" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	8,400	LF	\$ 65.00	\$ 546,000.00
29	8" Gate Valve Assembly	9	EA	\$ 2,900.00	\$ 26,100.00
30	Misc. Connections, Fittings and Tie-ins	1	LS	\$ 15,000.00	\$ 15,000.00
31	Water Right Procurement	1	LS	\$ 1,300,000.00	\$ 1,300,000.00
				SUBTOTAL	\$ 3,234,900.00
				CONTINGENCY	20% \$ 647,000.00
				CONSTRUCTION TOTAL	\$ 3,881,900.00
INCIDENTALS					
1	Engineering Design	2.8%	LS	\$ 120,000.00	\$ 120,000.00
2	Bidding & Negotiating	0.2%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	2.3%	HR	\$ 96,700.00	\$ 96,700.00
4	Topographic & Property Survey	0.5%	EST	\$ 22,000.00	\$ 22,000.00
5	Funding and Administrative Services	0.3%	EST	\$ 12,000.00	\$ 12,000.00
6	Permitting	0.2%	EST	\$ 10,000.00	\$ 10,000.00
7	Environmental (Including Biological and Archeological) Report	0.9%	EST	\$ 40,000.00	\$ 40,000.00
8	BLM ROW Negotiation (SF299 Application & POD)	0.2%	EST	\$ 10,000.00	\$ 10,000.00
9	Miscellaneous Engineering Services	0.5%	EST	\$ 20,000.00	\$ 20,000.00
				SUBTOTAL	\$ 338,200.00
				TOTAL PROJECT COST	\$ 4,220,100.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

 Hildale Groundwater Project PH III
 Project Location: Hildale City

 18-Oct-23
 BCW/tcd

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 110,000.00	\$ 110,000.00
2	Pre-Construction DVD & Project Sign	1	LS	\$ 1,500.00	\$ 1,500.00
3	Traffic Control	1	LS	\$ 5,000.00	\$ 5,000.00
4	Subsurface Investigation	4	HR	\$ 250.00	\$ 1,000.00
5	Materials Sampling & Testing	1	LS	\$ 7,500.00	\$ 7,500.00
6	Dust Control & Watering	1	LS	\$ 10,000.00	\$ 10,000.00
7	Construction Staking	1	LS	\$ 10,000.00	\$ 10,000.00
8	Erosion Control Compliance	1	LS	\$ 7,500.00	\$ 7,500.00
9	Geophysical Survey	1	LS	\$ 23,000.00	\$ 23,000.00
10	Access and Drill Pad Construction	1	LS	\$ 130,000.00	\$ 130,000.00
11	Conductor Casing and Seal	100	LF	\$ 650.00	\$ 65,000.00
12	Drill 12" Pilot Borehole	600	LF	\$ 175.00	\$ 105,000.00
13	Drill 20" Reamed Borehole	600	LF	\$ 123.00	\$ 73,800.00
14	Geophysical Logging	1	LS	\$ 9,000.00	\$ 9,000.00
15	Caliper	1	LS	\$ 6,500.00	\$ 6,500.00
16	Well Installation - 12" Steel Casing	500	LF	\$ 170.00	\$ 85,000.00
17	Well Installation - 12" SS Screen 70 Slot	200	LF	\$ 350.00	\$ 70,000.00
18	Installation of Gravel Pack - 8-12	550	LF	\$ 115.00	\$ 63,250.00
19	Installation of Annular Grout Seal	150	LF	\$ 115.00	\$ 17,250.00
20	Initial Well Development	40	HR	\$ 750.00	\$ 30,000.00
21	Install Pump for Development and Testing	1	LS	\$ 42,000.00	\$ 42,000.00
22	Well Development by pumping	80	HR	\$ 425.00	\$ 34,000.00
23	Misc. Well and Pump Testing	1	LS	\$ 10,000.00	\$ 10,000.00
24	Well Disinfecting	1	LS	\$ 5,000.00	\$ 5,000.00
25	Well Head	1	LS	\$ 2,500.00	\$ 2,500.00
26	Well Capping	1	LS	\$ 750.00	\$ 750.00
27	Roadway Restoration	39,000	SF	\$ 8.00	\$ 312,000.00
28	8" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	6,500	LF	\$ 65.00	\$ 422,500.00
29	8" Gate Valve Assembly	8	EA	\$ 2,900.00	\$ 23,200.00
30	Misc. Connections, Fittings and Tie-ins	1	LS	\$ 20,000.00	\$ 20,000.00
31	Water Right Procurement	1	LS	\$ 650,000.00	\$ 650,000.00
				SUBTOTAL	\$ 2,352,250.00
				CONTINGENCY	20% \$ 470,500.00
				CONSTRUCTION TOTAL	\$ 2,822,800.00
INCIDENTALS					
1	Engineering Design	3.2%	LS	\$ 100,000.00	\$ 100,000.00
2	Bidding & Negotiating	0.2%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	2.2%	HR	\$ 68,100.00	\$ 68,100.00
4	Topographic & Property Survey	0.6%	EST	\$ 20,000.00	\$ 20,000.00
5	Funding and Administrative Services	0.4%	EST	\$ 12,000.00	\$ 12,000.00
6	Permitting	0.3%	EST	\$ 10,000.00	\$ 10,000.00
7	Environmental (Including Biological and Archeological) Report	1.1%	EST	\$ 35,000.00	\$ 35,000.00
8	BLM ROW Negotiation (SF299 Application & POD)	0.3%	EST	\$ 10,000.00	\$ 10,000.00
9	Miscellaneous Engineering Services	0.6%	EST	\$ 20,000.00	\$ 20,000.00
				SUBTOTAL	\$ 282,600.00
				TOTAL PROJECT COST	\$ 3,105,400.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Arizona Well Fields

11-Oct-23

Project Location: Colorado City

MCG/bcw

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION (ONE WELL)					
1	Mobilization	5%	LS	\$ 16,100.00	\$ 16,100.00
2	Traffic Control	1	LS	\$ 2,000.00	\$ 2,000.00
3	SWPPP Compliance	1	LS	\$ 2,000.00	\$ 2,000.00
4	Dust Control & Watering	1	LS	\$ 2,000.00	\$ 2,000.00
5	Subsurface Investigation	10	HR	\$ 40.00	\$ 400.00
6	Construction Staking	1	LS	\$ 500.00	\$ 500.00
7	Clearing, Grubbing, Excavation, & Demolition	1	LS	\$ 2,000.00	\$ 2,000.00
8	8" Diameter Test Well Drilling	150	LF	\$ 87.00	\$ 13,050.00
9	Develop and Pump Test Well	1	LS	\$ 17,400.00	\$ 17,400.00
10	Water Sampling (Full Drinking Water Standard)	1	EA	\$ 26,000.00	\$ 26,000.00
11	Furnish and Install Conductor Casing (Production Well)	1	LS	\$ 7,800.00	\$ 7,800.00
12	20" Diameter Production Well Drilling	150	LF	\$ 160.00	\$ 24,000.00
13	12" Diameter Casing	100	LF	\$ 52.00	\$ 5,200.00
14	12" Diameter Stainless Steel Screen	50	LF	\$ 350.00	\$ 17,500.00
15	3" Galvanized Gravel Pack Tremie Pipe	60	LF	\$ 16.00	\$ 960.00
16	2" Conduit for Level Indicator	150	LF	\$ 7.00	\$ 1,050.00
17	Concrete Grout and Seal	3	CY	\$ 1,200.00	\$ 3,600.00
18	Furnish and Install Pea Gravel (Disinfected)	3	CY	\$ 350.00	\$ 1,050.00
19	Bentonite Plug	1	LS	\$ 4,400.00	\$ 4,400.00
20	Furnish and Install Fine Silica Sand	3	CY	\$ 2,100.00	\$ 6,300.00
21	Develop Production Well	150	HR	\$ 435.00	\$ 65,250.00
22	Production Well Test Pump Equipment	1	LS	\$ 17,400.00	\$ 17,400.00
23	Test Pump Production Well	48	HR	\$ 260.00	\$ 12,480.00
24	Recovery Testing	12	HR	\$ 175.00	\$ 2,100.00
25	Disinfection and Capping	1	LS	\$ 550.00	\$ 550.00
26	Well House Building	1	LS	\$ 75,000.00	\$ 75,000.00
27	Piping to Connect to Raw Water System	1	LS	\$ 12,000.00	\$ 12,000.00
SUBTOTAL					\$ 338,100.00
				CONTINGENCY 20%	\$ 67,600.00
CONSTRUCTION TOTAL					\$ 405,700.00
INCIDENTALS					
1	Engineering Design	7.6%	LS	\$ 36,000.00	\$ 36,000.00
2	Bidding & Negotiating	1.6%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services/Miscellaneous Services	5.7%	HR	\$ 27,000.00	\$ 27,000.00
SUBTOTAL					\$ 70,500.00
TOTAL PROJECT COST FOR ONE WELL					\$ 476,200.00
0-5 YEAR WELL FIELD					
	Number of New Wells	7	EA	\$ 476,200.00	\$ 3,333,400.00
TOTAL PROJECT COST AZ 0-5 YEAR WELL FIELD					\$ 3,333,400.00
6-10 YEAR WELL FIELD					
	Number of New Wells	8	EA	\$ 476,200.00	\$ 3,809,600.00
TOTAL PROJECT COST AZ 6-10 YEAR WELL FIELD					\$ 3,809,600.00
11-20 YEAR WELL FIELD					
	Number of New Wells	14	EA	\$ 476,200.00	\$ 6,666,800.00
TOTAL PROJECT COST AZ 11-20 YEAR WELL FIELD					\$ 6,666,800.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Utah Well Fields
Project Location: Hildale City

11-Oct-23
MCG/bcw

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION (ONE WELL)					
1	Mobilization	5%	LS	\$ 16,099.50	\$ 16,099.50
2	Traffic Control	1	LS	\$ 2,000.00	\$ 2,000.00
3	SWPPP Compliance	1	LS	\$ 2,000.00	\$ 2,000.00
4	Dust Control & Watering	1	LS	\$ 2,000.00	\$ 2,000.00
5	Subsurface Investigation	10	HR	\$ 40.00	\$ 400.00
6	Construction Staking	1	LS	\$ 500.00	\$ 500.00
7	Clearing, Grubbing, Excavation, & Demolition	1	LS	\$ 2,000.00	\$ 2,000.00
8	8" Diameter Test Well Drilling	150	LF	\$ 87.00	\$ 13,050.00
9	Develop and Pump Test Well	1	LS	\$ 17,400.00	\$ 17,400.00
10	Water Sampling (Full Drinking Water Standard)	1	EA	\$ 26,000.00	\$ 26,000.00
11	Furnish and Install Conductor Casing (Production Well)	1	LS	\$ 7,800.00	\$ 7,800.00
12	20" Diameter Production Well Drilling	150	LF	\$ 160.00	\$ 24,000.00
13	12" Diameter Casing	100	LF	\$ 52.00	\$ 5,200.00
14	12" Diameter Stainless Steel Screen	50	LF	\$ 350.00	\$ 17,500.00
15	3" Galvanized Gravel Pack Tremie Pipe	60	LF	\$ 16.00	\$ 960.00
16	2" Conduit for Level Indicator	150	LF	\$ 7.00	\$ 1,050.00
17	Concrete Grout and Seal	3	CY	\$ 1,200.00	\$ 3,600.00
18	Furnish and Install Pea Gravel (Disinfected)	3	CY	\$ 350.00	\$ 1,050.00
19	Bentonite Plug	1	LS	\$ 4,400.00	\$ 4,400.00
20	Furnish and Install Fine Silica Sand	3	CY	\$ 2,100.00	\$ 6,300.00
21	Develop Production Well	150	HR	\$ 435.00	\$ 65,250.00
22	Production Well Test Pump Equipment	1	LS	\$ 17,400.00	\$ 17,400.00
23	Test Pump Production Well	48	HR	\$ 260.00	\$ 12,480.00
24	Recovery Testing	12	HR	\$ 175.00	\$ 2,100.00
25	Disinfection and Capping	1	LS	\$ 550.00	\$ 550.00
26	Well House Building	1	LS	\$ 75,000.00	\$ 75,000.00
27	Piping to Connect to Raw Water System	1	LS	\$ 12,000.00	\$ 12,000.00
SUBTOTAL					\$ 338,089.50
CONTINGENCY				20%	\$ 67,617.90
CONSTRUCTION TOTAL					\$ 405,707.00
INCIDENTALS					
1	Engineering Design	7.6%	LS	\$ 36,019.43	\$ 36,019.43
2	Bidding & Negotiating	1.6%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services/Miscellaneous Services	5.7%	HR	\$ 27,000.00	\$ 27,000.00
SUBTOTAL					\$ 70,519.43
TOTAL PROJECT COST FOR ONE WELL					\$ 476,200.00
0-5 YEAR WELL FIELD					
	Number of New Wells	7	EA	\$ 476,200.00	\$ 3,333,400.00
	Purchase Water Rights	677	AC-FT	\$ 5,300.00	\$ 3,590,318.61
TOTAL PROJECT COST AZ 0-5 YEAR WELL FIELD					\$ 6,923,700.00
6-10 YEAR WELL FIELD					
	Number of New Wells	8	EA	\$ 476,200.00	\$ 3,809,600.00
	Purchase Water Rights	774	AC-FT	\$ 5,300.00	\$ 4,103,221.27
TOTAL PROJECT COST AZ 6-10 YEAR WELL FIELD					\$ 7,912,800.00
11-20 YEAR WELL FIELD					
	Number of New Wells	14	EA	\$ 476,200.00	\$ 6,666,800.00
	Purchase Water Rights	1,355	AC-FT	\$ 5,300.00	\$ 7,180,637.23
TOTAL PROJECT COST AZ 11-20 YEAR WELL FIELD					\$ 13,847,400.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Sandhill Tank 1
Project Location: Hildale City

18-Oct-23
BCW/tcd

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 211,800.00	\$ 211,800.00
2	Traffic Control	1	LS	\$ 5,000.00	\$ 5,000.00
3	Pre-Construction DVD & Project Sign	1	LS	\$ 1,500.00	\$ 1,500.00
4	Dust Control & Watering	1	LS	\$ 10,000.00	\$ 10,000.00
5	Subsurface Investigation	20	HR	\$ 350.00	\$ 7,000.00
6	Restore Surface Improvements	1	LS	\$ 10,000.00	\$ 10,000.00
7	Construction Staking	1	LS	\$ 12,000.00	\$ 12,000.00
8	Materials Sampling & Testing	1	LS	\$ 35,000.00	\$ 35,000.00
9	Excavation & Demolition	1	LS	\$ 25,000.00	\$ 25,000.00
10	Earthwork & Grading	1	LS	\$ 400,000.00	\$ 400,000.00
11	2MG Concrete Storage Tank	1	LS	\$ 2,800,000.00	\$ 2,800,000.00
12	Tank Site Appurtenances	1	LS	\$ 75,000.00	\$ 75,000.00
13	Metering Station	1	LS	\$ 40,000.00	\$ 40,000.00
14	16" PVC (C900), Fittings, Installation, Pipe Bedding, Trench Backfill	1,360	LF	\$ 120.00	\$ 163,200.00
15	16" Gate Valve Assembly	4	EA	\$ 6,750.00	\$ 27,000.00
16	12" PVC (C900), Fittings, Installation, Pipe Bedding, Trench Backfill	2,264	LF	\$ 95.00	\$ 215,080.00
17	12" Gate Valve Assembly	10	EA	\$ 6,500.00	\$ 65,000.00
18	Misc. Connections, Fittings and Tie-ins	1	LS	\$ 30,000.00	\$ 30,000.00
19	Surface Restoration	1	LS	\$ 15,000.00	\$ 15,000.00
20	Elm Street PRV and Vault	1	EA	\$ 100,000.00	\$ 100,000.00
21	Valving and Piping to Create New Pressure Zone	1	LS	\$ 45,000.00	\$ 45,000.00
22	Misc Electrical and SCADA Improvements	1	LS	\$ 20.00	\$ 20.00
23	Tank Access Road	28,992	SF	\$ 2.75	\$ 79,728.00
24	Fence and Gate	1	LS	\$ 75,000.00	\$ 75,000.00
SUBTOTAL					\$ 4,447,328.00
CONTINGENCY					20%
CONSTRUCTION TOTAL					\$ 5,336,800.00
INCIDENTALS					
1	Engineering Design	3.4%	LS	\$ 200,000.00	\$ 200,000.00
2	Bidding & Negotiating	0.1%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	4.5%	HR	\$ 266,800.00	\$ 266,800.00
4	Topographic & Property Survey	0.3%	EST	\$ 15,000.00	\$ 15,000.00
5	Geotechnical Report	0.2%	EST	\$ 10,000.00	\$ 10,000.00
6	Funding and Administrative Services	0.2%	EST	\$ 12,000.00	\$ 12,000.00
7	Permitting	0.2%	EST	\$ 10,000.00	\$ 10,000.00
8	Environmental (Including Biological and Archeological) Report	0.5%	EST	\$ 30,000.00	\$ 30,000.00
9	SCADA Design	0.3%	EST	\$ 15,000.00	\$ 15,000.00
10	BLM ROW Negotiation (SF299 Application & POD)	0.2%	EST	\$ 10,000.00	\$ 10,000.00
11	Miscellaneous Engineering Services	0.4%	EST	\$ 25,000.00	\$ 25,000.00
SUBTOTAL					\$ 601,300.00
TOTAL PROJECT COST					\$ 5,938,100.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Trailhead Tank
Project Location: Hildale City

12-Oct-23
MCG/bcw

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 100,700.00	\$ 100,700.00
2	Traffic Control	1	LS	\$ 5,000.00	\$ 5,000.00
3	Pre-Construction DVD & Project Sign	1	LS	\$ 1,500.00	\$ 1,500.00
4	Dust Control & Watering	1	LS	\$ 10,000.00	\$ 10,000.00
5	Subsurface Investigation	30	HR	\$ 350.00	\$ 10,500.00
6	Restore Surface Improvements	1	LS	\$ 7,800.00	\$ 7,800.00
7	Construction Staking	1	LS	\$ 5,000.00	\$ 5,000.00
8	Materials Sampling & Testing	1	LS	\$ 35,000.00	\$ 35,000.00
9	Earthwork	1	LS	\$ 200,000.00	\$ 200,000.00
10	500K Concrete Storage Tank	1	LS	\$ 810,000.00	\$ 810,000.00
11	Tank Site Appurtenances	1	LS	\$ 100,000.00	\$ 100,000.00
12	Fence and Gate	1	LS	\$ 20,000.00	\$ 20,000.00
13	Metering Station	1	LS	\$ 34,000.00	\$ 34,000.00
14	Tank Access Rd	5,500	SF	\$ 2.00	\$ 11,000.00
15	10" PVC (C900), Fittings, Installation, Pipe Bedding, Trench Backfill	8,000	LF	\$ 75.00	\$ 600,000.00
16	10" Gate Valve Assembly	5	EA	\$ 5,000.00	\$ 25,000.00
17	Misc. Connections, Fittings, and Tie-Ins	1	LS	\$ 20,000.00	\$ 20,000.00
18	Misc Electrical and SCADA Improvements	1	LS	\$ 20,000.00	\$ 20,000.00
19	PRV and Vault	1	EA	\$ 100,000.00	\$ 100,000.00
SUBTOTAL					\$ 2,115,500.00
				CONTINGENCY 20%	\$ 423,100.00
CONSTRUCTION TOTAL					\$ 2,538,600.00
INCIDENTALS					
1	Engineering Design	3.3%	LS	\$ 95,000.00	\$ 95,000.00
2	Bidding & Negotiating	0.3%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	4.4%	HR	\$ 126,900.00	\$ 126,900.00
4	Topographic & Property Survey	0.3%	EST	\$ 8,000.00	\$ 8,000.00
5	Geotechnical Report	0.3%	EST	\$ 10,000.00	\$ 10,000.00
6	Funding and Administrative Services	0.4%	EST	\$ 12,000.00	\$ 12,000.00
7	Permitting	0.3%	EST	\$ 10,000.00	\$ 10,000.00
10	Environmental (Including Biological and Archeological) Report	0.9%	EST	\$ 25,000.00	\$ 25,000.00
11	BLM ROW Negotiation (SF299 Application & POD)	0.3%	EST	\$ 10,000.00	\$ 10,000.00
39	Miscellaneous Professional Services	0.7%	EST	\$ 20,000.00	\$ 20,000.00
SUBTOTAL					\$ 336,900.00
TOTAL PROJECT COST					\$ 2,875,500.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

South Concrete Tank

12-Oct-23

Project Location: Colorado City

MCG/bcw

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 154,900.00	\$ 154,900.00
2	Traffic Control	1	LS	\$ 2,000.00	\$ 2,000.00
3	Pre-Construction DVD & Project Sign	1	LS	\$ 1,500.00	\$ 1,500.00
4	Dust Control & Watering	1	LS	\$ 10,000.00	\$ 10,000.00
5	Subsurface Investigation	30	HR	\$ 350.00	\$ 10,500.00
6	Restore Surface Improvements	1	LS	\$ 10,000.00	\$ 10,000.00
7	Construction Staking	1	LS	\$ 12,000.00	\$ 12,000.00
8	Materials Sampling & Testing	1	LS	\$ 35,000.00	\$ 35,000.00
9	Excavation & Demolition	1	LS	\$ 25,000.00	\$ 25,000.00
10	Earthwork & Grading	1	LS	\$ 400,000.00	\$ 400,000.00
11	1MG Concrete Storage Tank	1	LS	\$ 1,500,000.00	\$ 1,500,000.00
12	Tank Site Appurtenances	1	LS	\$ 250,000.00	\$ 250,000.00
13	Metering Station	1	LS	\$ 40,000.00	\$ 40,000.00
14	12" PVC (C900), Fittings, Installation, Pipe Bedding, Trench Backfill	4,000	LF	\$ 110.00	\$ 440,000.00
15	12" Gate Valve Assembly	10	EA	\$ 6,750.00	\$ 67,500.00
16	Misc. Connections, Fittings and Tie-ins	1	LS	\$ 30,000.00	\$ 30,000.00
17	Surface Restoration	1	LS	\$ 15,000.00	\$ 15,000.00
18	PRV and Vault	1	EA	\$ 100,000.00	\$ 100,000.00
19	Valving and Piping to Create New Pressure Zone	1	LS	\$ 45,000.00	\$ 45,000.00
20	Misc Electrical and SCADA Improvements	1	LS	\$ 20,000.00	\$ 20,000.00
21	Tank Access Road	32,000	SF	\$ 2.00	\$ 64,000.00
22	Fence and Gate	1	LS	\$ 20,000.00	\$ 20,000.00
SUBTOTAL					\$ 3,252,400.00
CONTINGENCY					20%
CONSTRUCTION TOTAL					\$ 3,902,900.00
INCIDENTALS					
1	Engineering Design	4.5%	LS	\$ 200,000.00	\$ 200,000.00
2	Bidding & Negotiating	0.2%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	4.4%	HR	\$ 195,100.00	\$ 195,100.00
4	Topographic & Property Survey	0.3%	EST	\$ 15,000.00	\$ 15,000.00
5	Geotechnical Report	0.2%	EST	\$ 10,000.00	\$ 10,000.00
6	Funding and Administrative Services	0.3%	EST	\$ 12,000.00	\$ 12,000.00
7	Permitting	0.2%	EST	\$ 10,000.00	\$ 10,000.00
8	Environmental (Including Biological and Archeological) Report	0.7%	EST	\$ 30,000.00	\$ 30,000.00
9	SCADA Design	0.3%	EST	\$ 15,000.00	\$ 15,000.00
10	BLM ROW Negotiation (SF299 Application & POD)	0.2%	EST	\$ 10,000.00	\$ 10,000.00
11	Miscellaneous Engineering Services	0.6%	EST	\$ 25,000.00	\$ 25,000.00
SUBTOTAL					\$ 529,600.00
TOTAL PROJECT COST					\$ 4,432,500.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Sandhill Tank 2
 Project Location: Hildale City

 18-Oct-23
 MCG/bcw

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 232,100.00	\$ 232,100.00
2	Traffic Control	1	LS	\$ 2,000.00	\$ 2,000.00
3	Pre-Construction DVD & Project Sign	1	LS	\$ 1,500.00	\$ 1,500.00
4	Dust Control & Watering	1	LS	\$ 10,000.00	\$ 10,000.00
5	Subsurface Investigation	30	HR	\$ 350.00	\$ 10,500.00
6	Restore Surface Improvements	1	LS	\$ 10,000.00	\$ 10,000.00
7	Construction Staking	1	LS	\$ 12,000.00	\$ 12,000.00
8	Materials Sampling & Testing	1	LS	\$ 35,000.00	\$ 35,000.00
9	Excavation & Demolition	1	LS	\$ 25,000.00	\$ 25,000.00
10	Earthwork & Grading	1	LS	\$ 400,000.00	\$ 400,000.00
11	2MG Concrete Storage Tank	1	LS	\$ 2,800,000.00	\$ 2,800,000.00
12	Tank Site Appurtenances	1	LS	\$ 250,000.00	\$ 250,000.00
13	Metering Station	1	LS	\$ 40,000.00	\$ 40,000.00
14	24" PVC (C900), Fittings, Installation, Pipe Bedding, Trench Backfill	2,700	LF	\$ 150.00	\$ 405,000.00
15	24" Gate Valve Assembly	6	EA	\$ 9,500.00	\$ 57,000.00
16	16" PVC (C900), Fittings, Installation, Pipe Bedding, Trench Backfill	2,350	LF	\$ 120.00	\$ 282,000.00
17	16" Gate Valve Assembly	5	EA	\$ 6,750.00	\$ 33,750.00
18	Misc. Connections, Fittings and Tie-ins	1	LS	\$ 30,000.00	\$ 30,000.00
19	Surface Restoration	1	LS	\$ 15,000.00	\$ 15,000.00
20	PRV and Vault	1	EA	\$ 100,000.00	\$ 100,000.00
21	Valving and Piping to Create New Pressure Zone	1	LS	\$ 45,000.00	\$ 45,000.00
22	Misc Electrical and SCADA Improvements	1	LS	\$ 20,000.00	\$ 20,000.00
23	Tank Access Road	18,800	SF	\$ 2.00	\$ 37,600.00
24	Fence and Gate	1	LS	\$ 20,000.00	\$ 20,000.00
SUBTOTAL					\$ 4,873,450.00
CONTINGENCY					20% \$ 974,700.00
CONSTRUCTION TOTAL					\$ 5,848,200.00
INCIDENTALS					
1	Engineering Design	3.1%	LS	\$ 200,000.00	\$ 200,000.00
2	Bidding & Negotiating	0.1%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	4.5%	HR	\$ 292,400.00	\$ 292,400.00
4	Topographic & Property Survey	0.2%	EST	\$ 15,000.00	\$ 15,000.00
5	Geotechnical Report	0.2%	EST	\$ 10,000.00	\$ 10,000.00
6	Funding and Administrative Services	0.2%	EST	\$ 12,000.00	\$ 12,000.00
7	Permitting	0.2%	EST	\$ 10,000.00	\$ 10,000.00
8	Environmental (Including Biological and Archeological) Report	0.5%	EST	\$ 30,000.00	\$ 30,000.00
9	SCADA Design	0.2%	EST	\$ 15,000.00	\$ 15,000.00
10	BLM ROW Negotiation (SF299 Application & POD)	0.2%	EST	\$ 10,000.00	\$ 10,000.00
11	Miscellaneous Engineering Services	0.4%	EST	\$ 25,000.00	\$ 25,000.00
SUBTOTAL					\$ 626,900.00
TOTAL PROJECT COST					\$ 6,475,100.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost					
Raw Water Transmission Line					18-Oct-23
Project Location: Colorado City					BCW/tcd
NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 37,800.00	\$ 37,800.00
2	Traffic Control	1	LS	\$ 10,000.00	\$ 10,000.00
3	Dust Control & Watering	1	LS	\$ 10,000.00	\$ 10,000.00
4	Subsurface Investigation	10	HR	\$ 250.00	\$ 2,500.00
5	Restore Surface Improvements	1	LS	\$ 15,000.00	\$ 15,000.00
6	Construction Staking	1	LS	\$ 10,000.00	\$ 10,000.00
7	Erosion Control Compliance	1	LS	\$ 5,000.00	\$ 5,000.00
8	Materials Sampling & Testing	1	LS	\$ 12,500.00	\$ 12,500.00
9	Excavation & Demolition	1	LS	\$ 20,000.00	\$ 20,000.00
10	12" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	2,500	LF	\$ 110.00	\$ 275,000.00
11	12" Gate Valve Assembly	8	EA	\$ 6,500.00	\$ 52,000.00
12	Pavement Restoration	26,400	SF	\$ 7.75	\$ 204,600.00
13	Access/Cleanout Structure	4	EA	\$ 5,000.00	\$ 20,000.00
14	Misc. Fittings, Connections, and Tie-Ins	1	LS	\$ 20,000.00	\$ 20,000.00
15	Electrical Conduit	2,500	LF	\$ 40.00	\$ 100,000.00
SUBTOTAL					\$ 794,400.00
				CONTINGENCY 20%	\$ 158,900.00
CONSTRUCTION TOTAL					\$ 953,300.00
INCIDENTALS					
1	Engineering Design	4.6%	LS	\$ 50,000.00	\$ 50,000.00
2	Bidding & Negotiating	0.7%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	3.6%	HR	\$ 39,700.00	\$ 39,700.00
4	Topographic & Property Survey	1.4%	EST	\$ 15,000.00	\$ 15,000.00
5	Permitting	0.5%	EST	\$ 5,000.00	\$ 5,000.00
6	Funding and Administrative Services	1.1%	EST	\$ 12,000.00	\$ 12,000.00
7	Miscellaneous Engineering Services	0.9%	EST	\$ 10,000.00	\$ 10,000.00
SUBTOTAL					\$ 139,200.00
TOTAL PROJECT COST					\$ 1,092,500.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Small Treatment Plant (1,600 gpm)
 Project Location: Hildale City

 12-Oct-23
 MCG/bcw

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 206,000.00	\$ 206,000.00
2	Pilot Study	1	LS	\$ 75,000.00	\$ 75,000.00
3	Construction Staking	1	LS	\$ 15,000.00	\$ 15,000.00
4	Dust Control & Watering	1	LS	\$ 20,000.00	\$ 20,000.00
5	Package Pressure Filtration System	1	LS	\$ 1,300,000.00	\$ 1,300,000.00
6	Site Earthwork	1	LS	\$ 150,000.00	\$ 150,000.00
7	Water Treatment Plant Building & Appurtenances	1	LS	\$ 1,000,000.00	\$ 1,000,000.00
8	Chlorinator System	1	LS	\$ 100,000.00	\$ 100,000.00
9	Chlorine Contact Chamber	1	LS	\$ 200,000.00	\$ 200,000.00
10	Effluent Pump Station	1	LS	\$ 275,000.00	\$ 275,000.00
11	Electrical Systems	1	LS	\$ 350,000.00	\$ 350,000.00
12	Mechanical System	1	LS	\$ 200,000.00	\$ 200,000.00
13	Miscellaneous Piping to and from Site	1	LS	\$ 185,000.00	\$ 185,000.00
14	Miscellaneous Valves	1	LS	\$ 90,000.00	\$ 90,000.00
15	Miscellaneous Site Improvements (parking, fence, gate, etc.)	1	LS	\$ 110,000.00	\$ 110,000.00
16	SCADA Improvements	1	LS	\$ 50,000.00	\$ 50,000.00
SUBTOTAL					\$ 4,326,000.00
				CONTINGENCY	20%
CONSTRUCTION TOTAL					\$ 5,191,200.00
INCIDENTALS					
1	Engineering Design	5.3%	LS	\$ 311,500.00	\$ 311,500.00
2	Bidding & Negotiating	0.2%	HR	\$ 10,000.00	\$ 10,000.00
3	Engineering Construction Services	4.4%	HR	\$ 259,600.00	\$ 259,600.00
4	Topographic & Property Survey	0.3%	EST	\$ 15,000.00	\$ 15,000.00
5	Geotechnical Report	0.2%	EST	\$ 10,000.00	\$ 10,000.00
6	Funding and Administrative Services	0.3%	EST	\$ 20,000.00	\$ 20,000.00
7	Permitting	0.2%	EST	\$ 12,500.00	\$ 12,500.00
8	SCADA Design	0.4%	EST	\$ 25,000.00	\$ 25,000.00
9	Miscellaneous Professional Services	0.8%	EST	\$ 50,000.00	\$ 50,000.00
SUBTOTAL					\$ 713,600.00
TOTAL PROJECT COST					\$ 5,904,800.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

 Additional Treatment Capacity (3,000 gpm)
 Project Location: Not Specified

 12-Oct-23
 MCG/bcw

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 306,800.00	\$ 306,800.00
2	Pilot Study	1	LS	\$ 75,000.00	\$ 75,000.00
3	Construction Staking	1	LS	\$ 15,000.00	\$ 15,000.00
4	Dust Control & Watering	1	LS	\$ 20,000.00	\$ 20,000.00
5	Package Pressure Filtration System	1	LS	\$ 2,300,000.00	\$ 2,300,000.00
6	Site Earthwork	1	LS	\$ 200,000.00	\$ 200,000.00
7	Water Treatment Plant Building & Appurtenances	1	LS	\$ 1,500,000.00	\$ 1,500,000.00
8	Chlorinator System	1	LS	\$ 100,000.00	\$ 100,000.00
9	Chlorine Contact Chamber	1	LS	\$ 325,000.00	\$ 325,000.00
10	Effluent Pump Station	1	LS	\$ 375,000.00	\$ 375,000.00
11	Electrical Systems	1	LS	\$ 400,000.00	\$ 400,000.00
12	Mechanical System	1	LS	\$ 275,000.00	\$ 275,000.00
13	Miscellaneous Piping to and from Site	1	LS	\$ 225,000.00	\$ 225,000.00
14	Miscellaneous Valves	1	LS	\$ 100,000.00	\$ 100,000.00
15	Miscellaneous Site Improvements (parking, fence, gate, etc.)	1	LS	\$ 175,000.00	\$ 175,000.00
16	SCADA Improvements	1	LS	\$ 50,000.00	\$ 50,000.00
SUBTOTAL					\$ 6,441,800.00
CONTINGENCY				20%	\$ 1,288,400.00
CONSTRUCTION TOTAL					\$ 7,730,200.00
INCIDENTALS					
1	Engineering Design	5.5%	LS	\$ 479,800.00	\$ 479,800.00
2	Bidding & Negotiating	0.1%	HR	\$ 10,000.00	\$ 10,000.00
3	Engineering Construction Services	4.4%	HR	\$ 386,500.00	\$ 386,500.00
4	Topographic & Property Survey	0.2%	EST	\$ 15,000.00	\$ 15,000.00
5	Geotechnical Report	0.1%	EST	\$ 10,000.00	\$ 10,000.00
6	Funding and Administrative Services	0.2%	EST	\$ 20,000.00	\$ 20,000.00
7	Permitting	0.1%	EST	\$ 12,500.00	\$ 12,500.00
8	SCADA Design	0.3%	EST	\$ 25,000.00	\$ 25,000.00
9	Miscellaneous Engineering Services	0.6%	EST	\$ 50,000.00	\$ 50,000.00
SUBTOTAL					\$ 1,008,800.00
TOTAL PROJECT COST					\$ 8,739,000.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

 Additional Treatment Capacity PH2 (4,000 gpm)
 Project Location: Not Specified

 12-Oct-23
 MCG/bcw

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 363,300.00	\$ 363,300.00
2	Pilot Study	1	LS	\$ 75,000.00	\$ 75,000.00
3	Construction Staking	1	LS	\$ 15,000.00	\$ 15,000.00
4	Dust Control & Watering	1	LS	\$ 20,000.00	\$ 20,000.00
5	Package Pressure Filtration System	1	LS	\$ 3,000,000.00	\$ 3,000,000.00
6	Site Earthwork	1	LS	\$ 200,000.00	\$ 200,000.00
7	Water Treatment Plant Building & Appurtenances	1	LS	\$ 1,750,000.00	\$ 1,750,000.00
8	Chlorinator System	1	LS	\$ 100,000.00	\$ 100,000.00
9	Chlorine Contact Chamber	1	LS	\$ 375,000.00	\$ 375,000.00
10	Effluent Pump Station	1	LS	\$ 425,000.00	\$ 425,000.00
11	Electrical Systems	1	LS	\$ 450,000.00	\$ 450,000.00
12	Mechanical System	1	LS	\$ 315,000.00	\$ 315,000.00
13	Miscellaneous Piping to and from Site	1	LS	\$ 225,000.00	\$ 225,000.00
14	Miscellaneous Valves	1	LS	\$ 115,000.00	\$ 115,000.00
15	Miscellaneous Site Improvements (parking, fence, gate, etc.)	1	LS	\$ 150,000.00	\$ 150,000.00
16	SCADA Improvements	1	LS	\$ 50,000.00	\$ 50,000.00
SUBTOTAL					\$ 7,628,300.00
CONTINGENCY				20%	\$ 1,525,700.00
CONSTRUCTION TOTAL					\$ 9,154,000.00
INCIDENTALS					
1	Engineering Design	5.4%	LS	\$ 558,000.00	\$ 558,000.00
2	Bidding & Negotiating	0.1%	HR	\$ 10,000.00	\$ 10,000.00
3	Engineering Construction Services	4.4%	HR	\$ 457,700.00	\$ 457,700.00
4	Topographic & Property Survey	0.1%	EST	\$ 15,000.00	\$ 15,000.00
5	Geotechnical Report	0.1%	EST	\$ 10,000.00	\$ 10,000.00
6	Funding and Administrative Services	0.2%	EST	\$ 20,000.00	\$ 20,000.00
7	Permitting	0.1%	EST	\$ 12,500.00	\$ 12,500.00
8	SCADA Design	0.2%	EST	\$ 25,000.00	\$ 25,000.00
9	Miscellaneous Engineering Services	0.5%	EST	\$ 50,000.00	\$ 50,000.00
SUBTOTAL					\$ 1,158,200.00
TOTAL PROJECT COST					\$ 10,312,200.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Fire Hydrant Improvements	18-Oct-23
Project Location: Hildale City	BCW/tcd

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
-----	-------------	----------	------	------------	--------

GENERAL CONSTRUCTION

1	Mobilization	5%	LS	\$ 61,700.00	\$ 61,700.00
2	Pre-Construction DVD and Project Sign	1	LS	\$ 2,500.00	\$ 2,500.00
3	Traffic Control	1	LS	\$ 10,000.00	\$ 10,000.00
4	Subsurface Investigation	24	HR	\$ 250.00	\$ 6,000.00
5	Materials Sampling & Testing	1	LS	\$ 16,000.00	\$ 16,000.00
6	Dust Control & Watering	1	LS	\$ 9,000.00	\$ 9,000.00
7	Construction Staking	1	LS	\$ 13,000.00	\$ 13,000.00
8	Erosion Control Compliance	1	LS	\$ 6,000.00	\$ 6,000.00
9	6" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	2,100	LF	\$ 50.00	\$ 105,000.00
10	6" Gate Valve Assembly	80	EA	\$ 2,000.00	\$ 160,000.00
11	8" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	2,930	LF	\$ 65.00	\$ 190,450.00
12	8" Gate Valve Assembly	8	EA	\$ 2,900.00	\$ 23,200.00
13	Fire Hydrant Assembly	78	EA	\$ 7,000.00	\$ 546,000.00
14	Restore Gravel Road	21,200	SF	\$ 3.25	\$ 68,900.00
15	Pavement Restoration	9,100	SF	\$ 7.50	\$ 68,250.00
16	Restore Surface Improvements	1	LS	\$ 10,000.00	\$ 10,000.00
SUBTOTAL					\$ 1,296,000.00
				CONTINGENCY	20%
					\$ 259,200.00
CONSTRUCTION TOTAL					\$ 1,555,200.00

INCIDENTALS

1	Engineering Design	4.6%	LS	\$ 79,000.00	\$ 79,000.00
2	Bidding & Negotiating	0.4%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	3.7%	HR	\$ 64,800.00	\$ 64,800.00
4	Topographic & Property Survey	0.6%	EST	\$ 10,000.00	\$ 10,000.00
5	Funding and Administrative Services	0.7%	EST	\$ 12,000.00	\$ 12,000.00
6	Miscellaneous Engineering Services	0.3%	EST	\$ 5,000.00	\$ 5,000.00
SUBTOTAL					\$ 178,300.00
TOTAL PROJECT COST					\$ 1,733,500.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer

Engineer's Opinion of Probable Cost

Upper Pressure Zone Improvements
 Project Location: Hildale City

17-Oct-23
 MCG/bcw

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 29,100.00	\$ 29,100.00
2	Pre-Construction DVD	1	LS	\$ 1,500.00	\$ 1,500.00
3	Traffic Control	1	LS	\$ 7,500.00	\$ 7,500.00
4	Subsurface Investigation	16	HR	\$ 250.00	\$ 4,000.00
5	Materials Sampling & Testing	1	LS	\$ 10,000.00	\$ 10,000.00
6	Dust Control & Watering	1	LS	\$ 7,500.00	\$ 7,500.00
7	Construction Staking	1	LS	\$ 7,500.00	\$ 7,500.00
8	Erosion Control Compliance	1	LS	\$ 6,000.00	\$ 6,000.00
9	8" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	5,000	LF	\$ 65.00	\$ 325,000.00
10	8" Gate Valve Assembly	14	EA	\$ 5,000.00	\$ 70,000.00
11	Disconnect and Reconnect Water Services	6	EA	\$ 2,000.00	\$ 12,000.00
12	Restore Gravel Road	30,000	SF	\$ 3.25	\$ 97,500.00
13	Restore Surface Improvements	1	LS	\$ 10,000.00	\$ 10,000.00
14	Misc. Connections, Fittings, and Tie-Ins	1	LS	\$ 10,000.00	\$ 10,000.00
15	6" Fire Hydrant Assembly	2	EA	\$ 7,000.00	\$ 14,000.00
SUBTOTAL					\$ 611,600.00
				CONTINGENCY	20%
CONSTRUCTION TOTAL					\$ 733,900.00
INCIDENTALS					
1	Engineering Design	5.3%	LS	\$ 45,000.00	\$ 45,000.00
2	Bidding & Negotiating	0.9%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	3.6%	HR	\$ 30,600.00	\$ 30,600.00
4	Topographic & Property Survey	0.9%	EST	\$ 7,500.00	\$ 7,500.00
5	Funding and Administrative Services	1.4%	EST	\$ 12,000.00	\$ 12,000.00
6	Permitting	0.6%	EST	\$ 5,000.00	\$ 5,000.00
7	Miscellaneous Professional Services	0.6%	EST	\$ 5,000.00	\$ 5,000.00
SUBTOTAL					\$ 112,600.00
TOTAL PROJECT COST					\$ 846,500.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Canyon Street Line
 Project Location: Hildale City

 17-Oct-23
 MCG/bcw

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 12,400.00	\$ 12,400.00
2	Pre-Construction DVD	1	LS	\$ 1,500.00	\$ 1,500.00
3	Traffic Control	1	LS	\$ 10,000.00	\$ 10,000.00
4	Subsurface Investigation	8	HR	\$ 250.00	\$ 2,000.00
5	Materials Sampling & Testing	1	LS	\$ 10,000.00	\$ 10,000.00
6	Dust Control & Watering	1	LS	\$ 10,000.00	\$ 10,000.00
7	Construction Staking	1	LS	\$ 7,500.00	\$ 7,500.00
8	Erosion Control Compliance	1	LS	\$ 7,500.00	\$ 7,500.00
9	8" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	1,500	LF	\$ 65.00	\$ 97,500.00
10	8" Gate Valve Assembly	5	EA	\$ 5,000.00	\$ 25,000.00
11	Restore Surface Improvements	1	LS	\$ 10,000.00	\$ 10,000.00
12	Pavement Restoration	9,000	SF	\$ 6.00	\$ 54,000.00
13	Misc. Connections, Fittings, and Tie-Ins	1	LS	\$ 7,500.00	\$ 7,500.00
14	Reconnect Water Services	5	EA	\$ 1,200.00	\$ 6,000.00
SUBTOTAL					\$ 260,900.00
				CONTINGENCY 20%	\$ 52,200.00
CONSTRUCTION TOTAL					\$ 313,100.00
INCIDENTALS					
1	Engineering Design	6.4%	LS	\$ 25,000.00	\$ 25,000.00
2	Bidding & Negotiating	1.9%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	4.7%	HR	\$ 18,300.00	\$ 18,300.00
4	Topographic & Property Survey	1.9%	EST	\$ 7,500.00	\$ 7,500.00
5	Funding and Administrative Services	2.6%	EST	\$ 10,000.00	\$ 10,000.00
6	Permitting	1.3%	EST	\$ 5,000.00	\$ 5,000.00
7	Miscellaneous Engineering Services	0.6%	EST	\$ 2,500.00	\$ 2,500.00
SUBTOTAL					\$ 75,800.00
TOTAL PROJECT COST					\$ 388,900.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Northwest Hildale Transmission Line
 Project Location: Hildale City

 17-Oct-23
 MCG/bcw

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 69,300.00	\$ 69,300.00
2	Traffic Control	1	LS	\$ 12,000.00	\$ 12,000.00
3	Pre-Construction DVD	1	LS	\$ 1,500.00	\$ 1,500.00
4	Dust Control & Watering	1	LS	\$ 20,000.00	\$ 20,000.00
5	Subsurface Investigation	8	HR	\$ 250.00	\$ 2,000.00
6	Restore Surface Improvements	1	LS	\$ 12,000.00	\$ 12,000.00
7	Erosion Control Compliance	2	LS	\$ 8,000.00	\$ 16,000.00
8	Construction Staking	1	LS	\$ 12,500.00	\$ 12,500.00
9	Materials Sampling & Testing	1	LS	\$ 12,000.00	\$ 12,000.00
10	Surface Restoration	32,500	SF	\$ 5.00	\$ 162,500.00
11	24" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	4,150	LF	\$ 150.00	\$ 622,500.00
12	24" Gate Valve Assembly	12	EA	\$ 9,500.00	\$ 114,000.00
13	16" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	2,350	LF	\$ 120.00	\$ 282,000.00
14	16" Gate Valve Assembly	12	EA	\$ 6,750.00	\$ 81,000.00
15	Misc. Connections, Fittings and Tie-ins	1	LS	\$ 35,000.00	\$ 35,000.00
SUBTOTAL					\$ 1,454,300.00
CONTINGENCY				20%	\$ 290,900.00
CONSTRUCTION TOTAL					\$ 1,745,200.00
INCIDENTALS					
1	Engineering Design	5.3%	LS	\$ 105,000.00	\$ 105,000.00
2	Bidding & Negotiating	0.4%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	3.7%	HR	\$ 72,700.00	\$ 72,700.00
4	Topographic & Property Survey	0.8%	EST	\$ 15,000.00	\$ 15,000.00
5	Funding and Administrative Services	0.6%	EST	\$ 12,000.00	\$ 12,000.00
6	Permitting	0.3%	EST	\$ 5,000.00	\$ 5,000.00
7	Miscellaneous Engineering Services	0.8%	EST	\$ 15,000.00	\$ 15,000.00
SUBTOTAL					\$ 232,200.00
TOTAL PROJECT COST					\$ 1,977,400.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Hildale Street Line

17-Oct-23

Project Location: Colorado City

MCG/bcw

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 13,200.00	\$ 13,200.00
2	Pre-Construction DVD	1	LS	\$ 1,500.00	\$ 1,500.00
3	Traffic Control	1	LS	\$ 18,000.00	\$ 18,000.00
4	Subsurface Investigation	4	HR	\$ 250.00	\$ 1,000.00
5	Materials Sampling & Testing	1	LS	\$ 7,500.00	\$ 7,500.00
6	Dust Control & Watering	1	LS	\$ 7,500.00	\$ 7,500.00
7	Construction Staking	1	LS	\$ 7,000.00	\$ 7,000.00
8	Erosion Control Compliance	1	LS	\$ 7,500.00	\$ 7,500.00
9	8" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	2,650	LF	\$ 65.00	\$ 172,250.00
10	8" Gate Valve Assembly	7	EA	\$ 5,000.00	\$ 33,125.00
11	Restore Surface Improvements	1	LS	\$ 8,500.00	\$ 8,500.00
				SUBTOTAL	\$ 277,075.00
				CONTINGENCY	20% \$ 55,415.00
				CONSTRUCTION TOTAL	\$ 332,490.00
INCIDENTALS					
1	Engineering Design	5.5%	LS	\$ 25,000.00	\$ 25,000.00
2	Bidding & Negotiating	1.7%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	4.3%	HR	\$ 19,400.00	\$ 19,400.00
4	Topographic & Property Survey	1.7%	EST	\$ 7,500.00	\$ 7,500.00
5	Funding and Administrative Services	2.2%	EST	\$ 10,000.00	\$ 10,000.00
6	Land & RoW Negotiation/Acquisition	11.0%	EST	\$ 50,000.00	\$ 50,000.00
7	Miscellaneous Engineering Services	0.6%	EST	\$ 2,500.00	\$ 2,500.00
				SUBTOTAL	\$ 121,900.00
				TOTAL PROJECT COST	\$ 454,390.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Southwest Hildale Transmission Line
Project Location: Hildale City

17-Oct-23
MCG/bcw

NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 28,400.00	\$ 28,400.00
2	Traffic Control	1	LS	\$ 12,000.00	\$ 12,000.00
3	Pre-Construction DVD	1	LS	\$ 1,500.00	\$ 1,500.00
4	Dust Control & Watering	1	LS	\$ 20,000.00	\$ 20,000.00
5	Subsurface Investigation	8	HR	\$ 250.00	\$ 2,000.00
6	Restore Surface Improvements	1	LS	\$ 12,000.00	\$ 12,000.00
7	Erosion Control Compliance	2	LS	\$ 8,000.00	\$ 16,000.00
8	Construction Staking	1	LS	\$ 12,500.00	\$ 12,500.00
9	Materials Sampling & Testing	1	LS	\$ 12,000.00	\$ 12,000.00
10	Roadway Restoration	9,000	SF	\$ 6.00	\$ 54,000.00
11	12" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	1,900	LF	\$ 110.00	\$ 209,000.00
12	12" Gate Valve Assembly	12	EA	\$ 6,750.00	\$ 81,000.00
13	PRV and Vault	1	LS	\$ 100,000.00	\$ 100,000.00
14	Misc. Connections, Fittings and Tie-ins	1	LS	\$ 35,000.00	\$ 35,000.00
SUBTOTAL					\$ 595,400.00
				CONTINGENCY	20%
CONSTRUCTION TOTAL					\$ 714,500.00
INCIDENTALS					
1	Engineering Design	11.6%	LS	\$ 105,000.00	\$ 105,000.00
2	Bidding & Negotiating	0.8%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	3.3%	HR	\$ 29,800.00	\$ 29,800.00
4	Topographic & Property Survey	1.7%	EST	\$ 15,000.00	\$ 15,000.00
5	Funding and Administrative Services	1.3%	EST	\$ 12,000.00	\$ 12,000.00
6	Permitting	0.6%	EST	\$ 5,000.00	\$ 5,000.00
7	Miscellaneous Engineering Services	1.7%	EST	\$ 15,000.00	\$ 15,000.00
SUBTOTAL					\$ 189,300.00
TOTAL PROJECT COST					\$ 903,800.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

Engineer's Opinion of Probable Cost

Transmission Line to Airport
 Project Location: Colorado City

17-Oct-23
 MCG/bcw

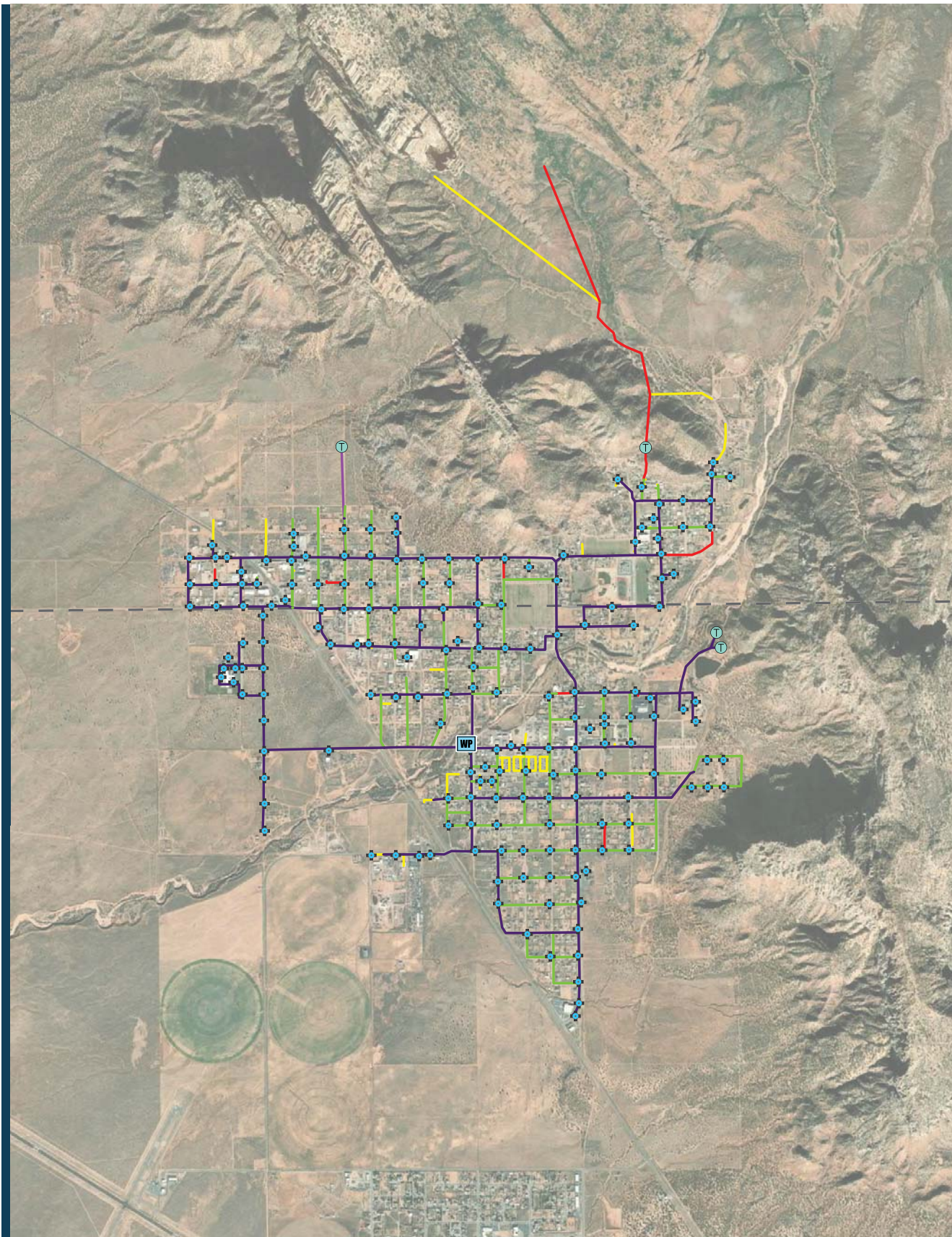
NO.	DESCRIPTION	EST. QTY	UNIT	UNIT PRICE	AMOUNT
GENERAL CONSTRUCTION					
1	Mobilization	5%	LS	\$ 71,600.00	\$ 71,600.00
2	Traffic Control	1	LS	\$ 12,000.00	\$ 12,000.00
3	Pre-Construction DVD	1	LS	\$ 1,500.00	\$ 1,500.00
4	Dust Control & Watering	1	LS	\$ 20,000.00	\$ 20,000.00
5	Subsurface Investigation	8	HR	\$ 250.00	\$ 2,000.00
6	Restore Surface Improvements	1	LS	\$ 12,000.00	\$ 12,000.00
7	Erosion Control Compliance	2	LS	\$ 8,000.00	\$ 16,000.00
8	Construction Staking	1	LS	\$ 12,500.00	\$ 12,500.00
9	Materials Sampling & Testing	1	LS	\$ 12,000.00	\$ 12,000.00
10	Roadway Restoration	42,750	SF	\$ 6.00	\$ 256,500.00
11	10" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	650	LF	\$ 90.00	\$ 58,500.00
12	10" Gate Valve Assembly	2	EA	\$ 5,250.00	\$ 10,500.00
13	12" PVC (C900) Line, Fitting, Tracer Wire, Bedding, & Backfill	7,900	EA	\$ 110.00	\$ 869,000.00
14	12" Gate Valve Assembly	17	EA	\$ 6,750.00	\$ 114,750.00
15	Misc. Connections, Fittings and Tie-ins	1	LS	\$ 35,000.00	\$ 35,000.00
				SUBTOTAL	\$ 1,503,850.00
				CONTINGENCY	20%
				CONSTRUCTION TOTAL	\$ 1,804,650.00
INCIDENTALS					
1	Engineering Design	5.1%	LS	\$ 105,000.00	\$ 105,000.00
2	Bidding & Negotiating	0.4%	HR	\$ 7,500.00	\$ 7,500.00
3	Engineering Construction Services	3.7%	HR	\$ 75,200.00	\$ 75,200.00
4	Topographic & Property Survey	0.7%	EST	\$ 15,000.00	\$ 15,000.00
5	Funding and Administrative Services	0.6%	EST	\$ 12,000.00	\$ 12,000.00
6	Permitting	0.2%	EST	\$ 5,000.00	\$ 5,000.00
7	Miscellaneous Engineering Services	0.7%	EST	\$ 15,000.00	\$ 15,000.00
				SUBTOTAL	\$ 234,700.00
				TOTAL PROJECT COST	\$ 2,039,350.00

In providing opinions of probable construction cost, the Client understands that the Engineer has no control over costs or the price of labor, equipment or materials, or over the Contractor's method of pricing, and that the opinion of probable construction cost provided herein is made on the basis of the Engineer's qualifications and experience. The Engineer makes no warranty, expressed or implied, as to the accuracy of such opinions compared to bid or actual costs.

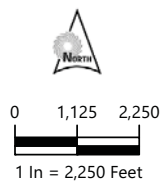
APPENDIX D

System Maps

EXISTING WATER SYSTEM



MAP LEGEND



- Water Mains
- 2"
 - 4"
 - 6"
 - 8"
 - 12"

- ⊕ Water Hydrants
- Ⓣ Water Tank
- WP Treatment Plant

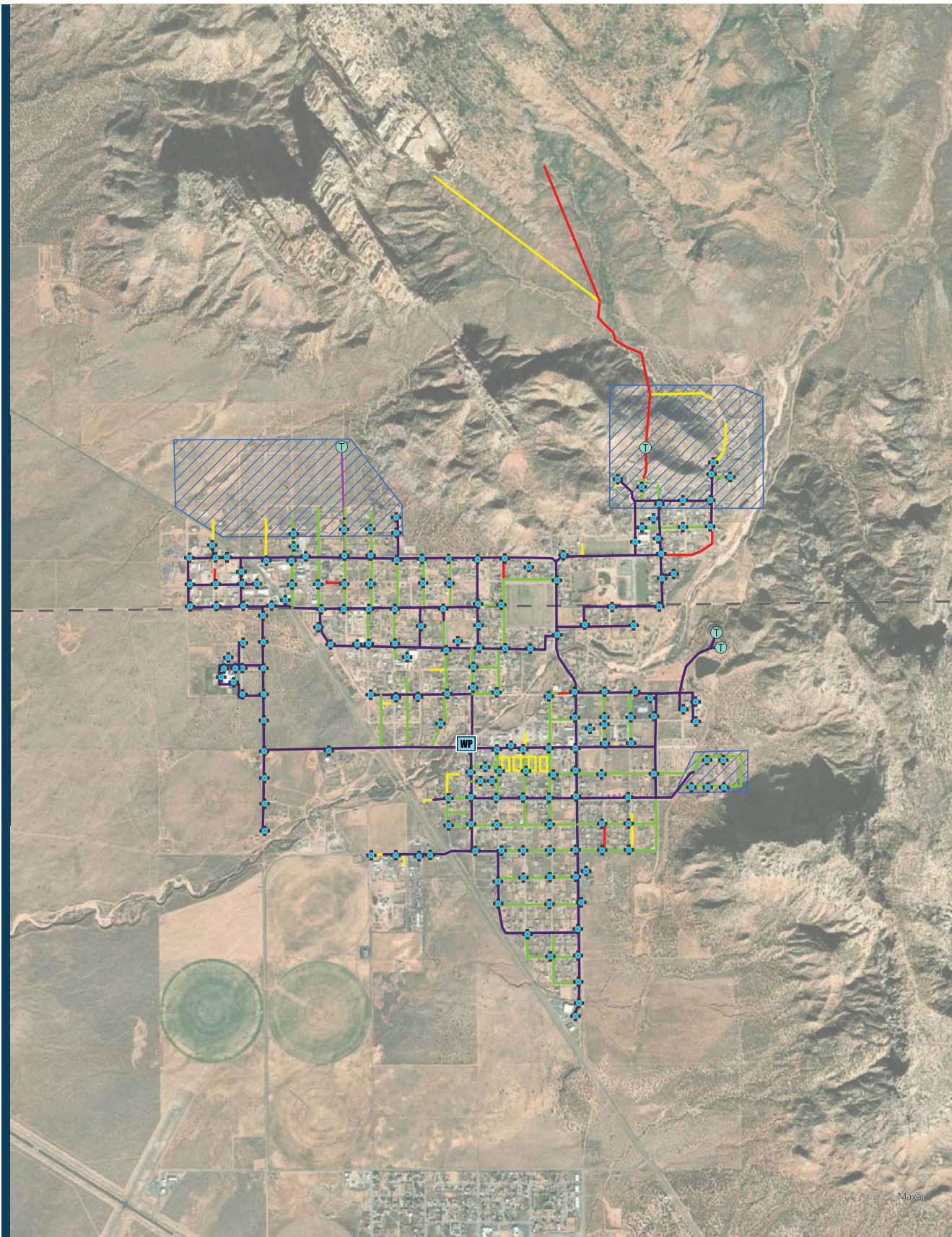
- State Boundary



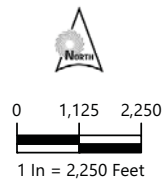
Map Date: 10.27.2023



LOW FIRE FLOW AREA



MAP LEGEND



- Water Mains
- 2"
 - 4"
 - 6"
 - 8"
 - 12"

- ⊕ Water Hydrants
- Ⓢ Water Tank
- WP Treatment Plant
- ▨ Pressure Zones

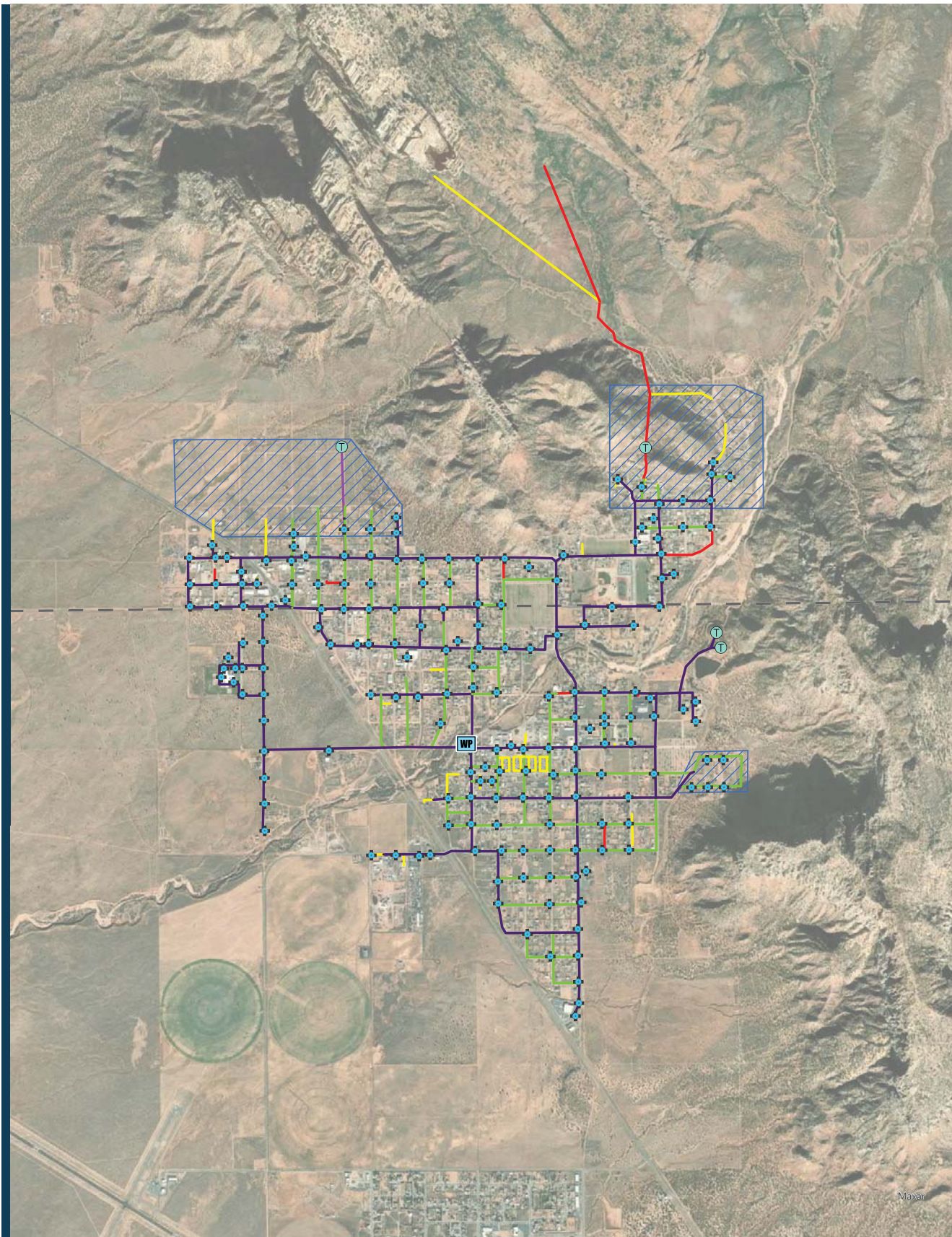
- State Boundary



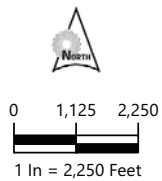
Map Date: 10.27.2023



LOW PRESSURE DURING PDD SCENARIO



MAP LEGEND



- Water Mains
- 2"
 - 4"
 - 6"
 - 8"
 - 12"

- Water Hydrants
- Water Tank
- WP Treatment Plant
- Pressure Zones

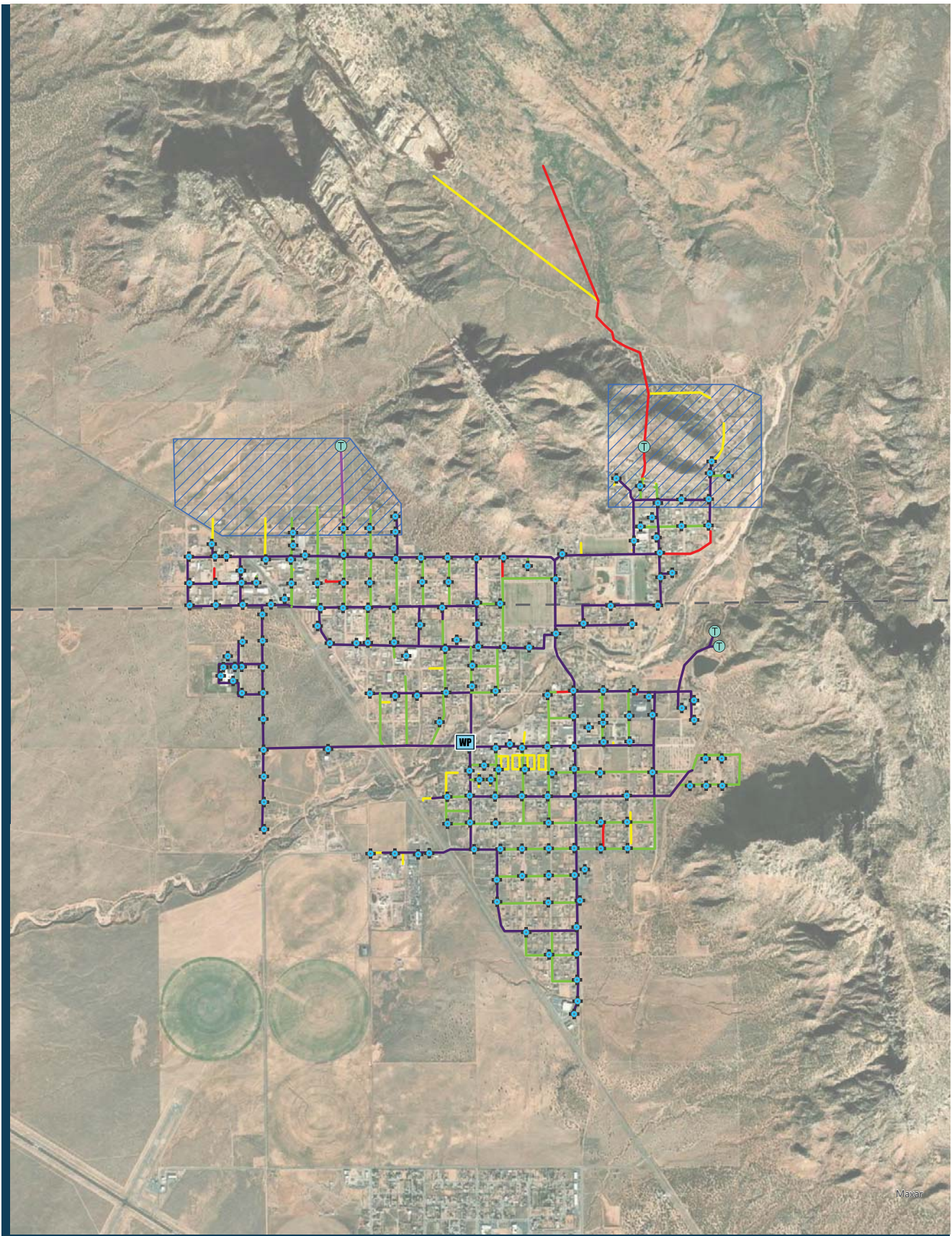
- State Boundary



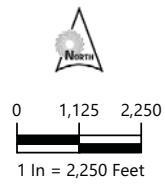
Map Date: 10.27.2023



LOW PRESSURE DURING PID SCENARIO



MAP LEGEND



- Water Mains
- 2"
 - 4"
 - 6"
 - 8"
 - 12"

- ⊕ Water Hydrants
- Ⓣ Water Tank
- WP Treatment Plant
- ▨ Pressure Zones

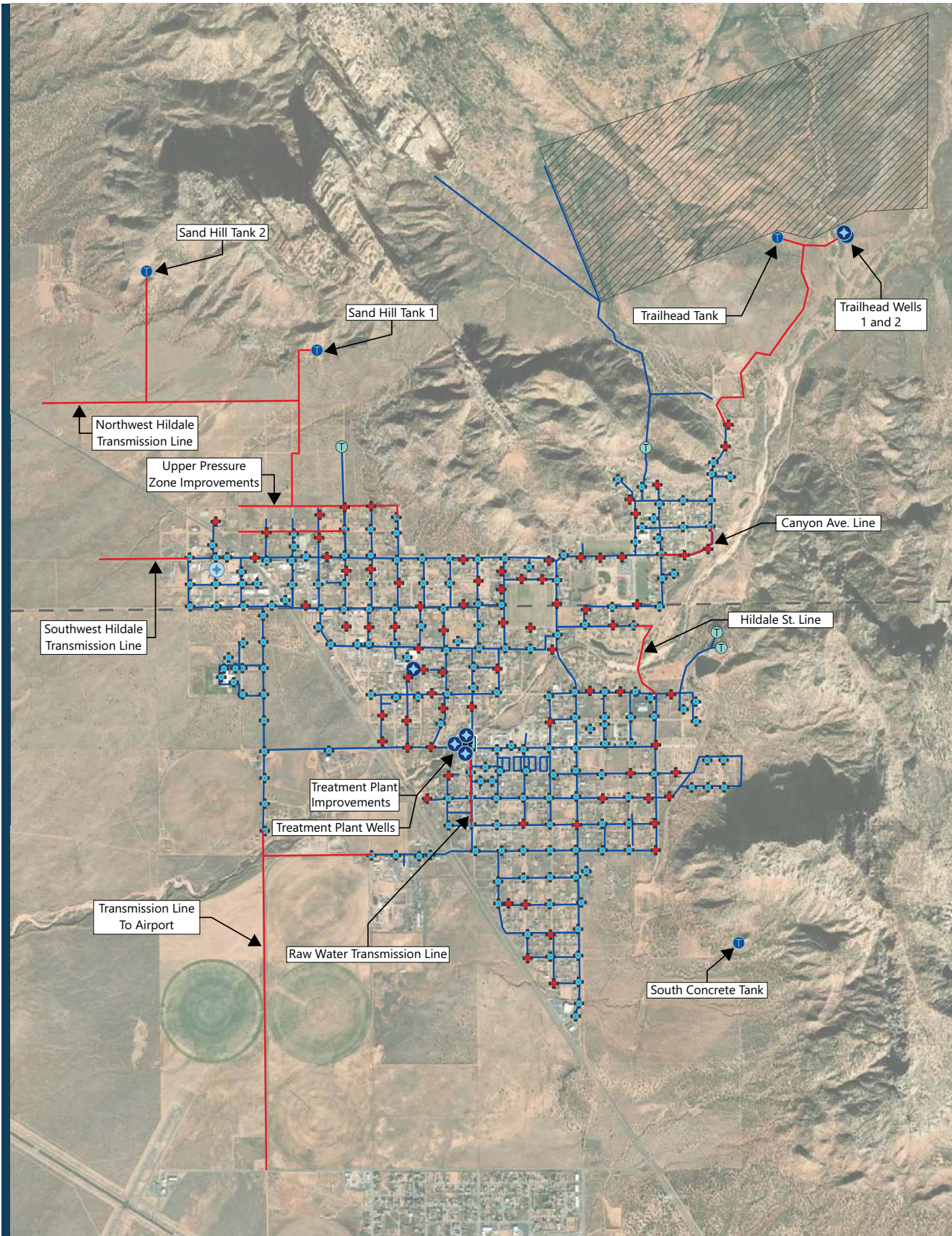
- State Boundary



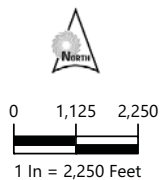
Map Date: 10.27.2023



RECOMMENDED IMPROVEMENTS



MAP LEGEND



Recommended Improvements

- Water Mains
- + Water Hydrants
- Water Tank
- ⊕ Production Well
- Hildale Ground Water Project Area

Existing Water System


- Water Mains
- + Water Hydrants
- Water Tank
- ⊕ Production Well
- WP Treatment Plant

- State Boundary



Map Date: 10.27.2023





APPENDIX E

Impact Fee Analysis

Impact Fee Projects & Impact Fee Eligibility

Source Projects	Current Costs	Year	Costs w/ Inflation*	Financed Costs**	% IF EI.	IF EI. Cost	% Hildale	Hildale IF EL. Cost	% Colorado City	Colorado City IF EL. Cost
Treatment Plant Wells	\$ 1,288,700.00	2024	\$ 1,327,361	\$ 976,695	0.0%	\$ -	50%	\$ -	50%	\$ -
5 Year AZ Well Field	\$ 3,333,400.00	2026	\$ 3,642,496	\$ 2,680,212	84.3%	\$ 2,259,419	50%	\$ 1,129,709.00	50%	\$ 1,129,709.55
5 Year UT Well Field	\$ 6,923,700.00	2026	\$ 7,565,714	\$ 5,566,985	84.3%	\$ 4,692,968	50%	\$ 2,346,484.00	50%	\$ 2,346,484.07
10 Year AZ Well Field	\$ 3,809,600.00	2032	\$ 4,970,664	\$ 3,657,502	100.0%	\$ 3,657,502	50%	\$ 1,828,750.00	50%	\$ 1,828,750.76
10 Year UT Well Field	\$ 7,912,800.00	2032	\$ 10,324,409	\$ 7,596,881	100.0%	\$ 7,596,881	50%	\$ 3,798,440.00	50%	\$ 3,798,440.52
Storage Projects			Sub total	\$ 20,478,275		\$ 18,206,770		\$ 9,103,383		\$ 9,103,385
Sandhill Tank 1	\$ 5,938,100.00	2025	\$ 6,299,730	\$ 4,635,452	100.0%	\$ 4,635,452	70%	\$ 3,244,816.00	30%	\$ 1,390,635.54
Water Treatment Projects			Sub total	\$ 4,635,452		\$ 4,635,452		\$ 3,244,816		\$ 1,390,636
Raw Water Transmission Line	\$ 1,092,500.00	2024	\$ 1,125,275	\$ 827,997	0.0%	\$ -	50%	\$ -	50%	\$ -
Small Treatment Plant (1,600 gpm)	\$ 5,904,800.00	2025	\$ 6,264,402	\$ 4,609,457	100.0%	\$ 4,609,457	50%	\$ 2,304,728.00	50%	\$ 2,304,728.44
Distribution System Projects			Sub total	\$ 5,437,454		\$ 4,609,457		\$ 2,304,728		\$ 2,304,728
Fire Hydrant Project	\$ 1,733,500.00	2024	\$ 1,785,505	\$ 1,313,806	0.0%	\$ -	50%	\$ -	50%	\$ -
Upper Pressure Zone Improvements	\$ 846,500.00	2026	\$ 924,993	\$ 680,626	50.0%	\$ 340,313	100%	\$ 340,313.00	0%	\$ -
Canyon St. Line	\$ 388,900.00	2028	\$ 450,842	\$ 331,737	0.0%	\$ -	50%	\$ -	50%	\$ -
Northwest Hildale Transmission Line	\$ 1,977,400.00	2028	\$ 2,292,349	\$ 1,686,750	100.0%	\$ 1,686,750	100%	\$ 1,686,750.00	0%	\$ -
Hildale St. Line	\$ 454,390.00	2030	\$ 558,842	\$ 411,206	0.0%	\$ -	50%	\$ -	50%	\$ -
Future Planning Projects			Sub total	\$ 4,424,126		\$ 2,027,063		\$ 2,027,063		\$ -
Capital Facilities Plan and IFFP & IFA Updat	\$ 60,000	2028	\$ 69,556	\$ 79,474	100.0%	\$ 79,474	50%	\$ 39,737.00	50%	\$ 39,737.17
Total			Sub total	\$ 79,474		\$ 79,474		\$ 39,737		\$ 39,737
			Total	\$ 35,054,781		\$ 29,558,216		\$ 16,719,727		\$ 12,838,486
							Impact Fee Amount	468	Impact Fee Amount	847
							Number ERU Start 2024	1,797	Number ERU Start 2024	1,934
							Number ERU End 2033	1,329	Number ERU End 2033	1,087
							Number New ERU		Number New ERU	
							Impact Fee per ERU	\$ 12,580.00	Impact Fee per ERU	\$ 11,807.00

* Inflation is assumed at 3%
 **Financed costs assume a 20-year 4% interest loan





Town of Colorado City

25 S. Central St., Colorado City, AZ, 86021
Phone#(928) 875-2646, Fax#(928) 875-2778

Land Use Application

Today's Date **10/31/2023**

Application is made for:

- Abandonment\Reversion to Acreage Conditional Use Permit Lot Line Adjustment Rezoning Sketch Plan
- Special Use Permit Subdivision Preliminary Plat Subdivision Final Plat Variance Zoning Map Change
- General Plan Amendment Land Use Verification/Other Development Review Other

Project Name **StarLight Cliffs**

Property Address / Location **265 and 285 E Township Ave - lot 5808 & 5801, block 58**

Township **41N** Range **6W** Section **5** Quarter Section

Assessor's Parcel Number **404-53-310 & 404-53-303** Gross Acres **2** Net Acres **2**

Number of Lots **19** Square Footage of Buildings on Property

Existing Use **empty lot and 1 house on other lot** Proposed Use **small sinlge family and multi family**

Applicant

Name **Emilee Knudson**

Company **Infinex Builders**

Address **265 and 285 E Township Ave - lot 5808**

City **Colorado City** State **AZ** Zip **86021**

Phone Number **435 691 4450**

Email **infinexone@gmail.com**

Project Engineer

Name **Thomas Timpson**

Company **TCT Engineering**

Address **PO Box 3212**

City **Colorado City** State **AZ** Zip **86021**

Phone Number **435 691 4450**

Email **t.c.timpson@live.com**

Describe proposed project, and purpose of project, in detail below. (use additional sheets if necessary):

The purpose of this project is to subdivide and develop the two adjacent properties at 265 and 285 E Township Ave Colorado City, AZ 86021. The sketch plan provides the required components to a conceptual understanding of the project including: A detailed description, title reports, a conceptual layout, proposed traffic impacts, utility design, preliminary drainage concept, existing topography, desired intention with the development, and the necessary contact information for the property owner, the developer and the designers.

Attach all supplemental documentation, such as Letter of Intent, Record of Survey, Subdivision Plats, Parcel Maps, Assessor Info. etc.

I hereby certify that the information provided is correct and that I am authorized to file an application on said property. I understand that all supplemental documentation and fees must be submitted before this application will be processed.

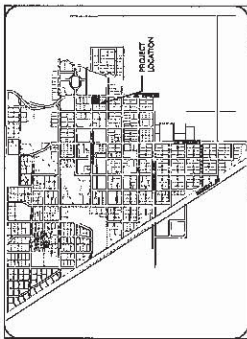
Signature of Applicant: **Emilee Knudson**

Signature of Owner: **Emilee Knudson**

Office Use Only

Date Received: Filing Fee: **128** Project Number:

VICINITY MAP



GENERAL NOTES & RESTRICTIONS

1. FEMA - FLOOD ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
2. A FIFTEEN (15') FOOT WIDE PUBLIC UTILITIES AND DRAINAGE EASEMENT SHALL BE PROVIDED ON EACH SIDE OF THE STREET RIGHT-OF-WAY.
3. WATER SUPPLY, THE PROPOSED WATER SUPPLY SYSTEM FOR THIS PROJECT WILL TIE INTO THE EXISTING HILDADE/COLORADO CITY UTILITIES PUBLIC WATER SYSTEM.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS NORTH 00°24'35" WEST BETWEEN THE TWO FOUND SPINDLES LOCATED AT THE INTERSECTION OF HILDADE STREET AND EXISTING HILDADE AND TRINIDAD STREET AND TOWNSHIP AVENUE.

LINE & SYMBOLS LEGEND

- DEVELOPMENT BOUNDARY
- PROPOSED LOT LINE
- PROPOSED PROPERTY CORNER
- P.A.U. & D.U.E. AGREEMENT
- EXISTING BUILDING
- PROPOSED CURB & GUTTER
- EXISTING FENCE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT PAVING
- PROPOSED SEWER
- PROPOSED WATER
- PROPOSED POWER
- PROPOSED TELECOM
- PROPOSED SEWER MANHOLE
- PROPOSED STREET LIGHT
- PROPOSED WATER WORKNUT
- PROPOSED POWER WATER
- PROPOSED WATER METER
- PROPOSED SEWER CLEAN OUT
- PROPOSED GAS METER

GRAPHIC SCALE



PRELIMINARY PLAT OF
STARLIGHT CLIFFS SUBDIVISION

NARRATIVE
STARLIGHT CLIFFS IS A RESIDENTIAL SUBDIVISION LOCATED IN THE NORTHWEST QUARTER OF SECTION 5, T. 41 N., R. 6 W. COLORADO COUNTY, MOHAVE COUNTY, ARIZONA.

EXCEPTIONS TO ORDINANCE
1. 156.15 - TYPICAL STREET CROSS-SECTIONS: 35.00' RIGHT-OF-WAY FOR PRIVATE STREETS WITHIN SUBDIVISION (CONSULTATION WAY WITH 26.00' OF RIGHT-OF-WAY) AND 40.00' FOR PUBLIC STREETS & 5.00' SEWAPACK ON ONE SIDE (SEE STREET SECTION)

DRIVEWAYS
156.37 (C) - DRIVEWAYS SERVING SINGLE FAMILY RESIDENTIAL DWELLINGS SHALL HAVE AN IMPROVED SURFACE OF AT LEAST GRAVEL OR AGGREGATE ROAD BASE OF A MINIMUM 12 FEET WIDE. DRIVEWAYS SERVING TWO OR MORE RESIDENTIAL DWELLINGS SHALL HAVE AN IMPROVED SURFACE OF AT LEAST 16 FEET WIDE.

LAND USE
EXISTING LAND USE:
SUBJECT PROPERTY IS CURRENTLY PARTIALLY USED AS PRIMARY RESIDENCE FOR LOT 5808, LOT 5801 IS CURRENTLY VACANT WITH A HOUSE PAD.
PROPOSED LAND USE:
MIX OF DETACHED AND ATTACHED SINGLE FAMILY RESIDENTIAL SUBDIVISION
ZONING:
LAND WAS PREVIOUSLY REZONED TO R-2

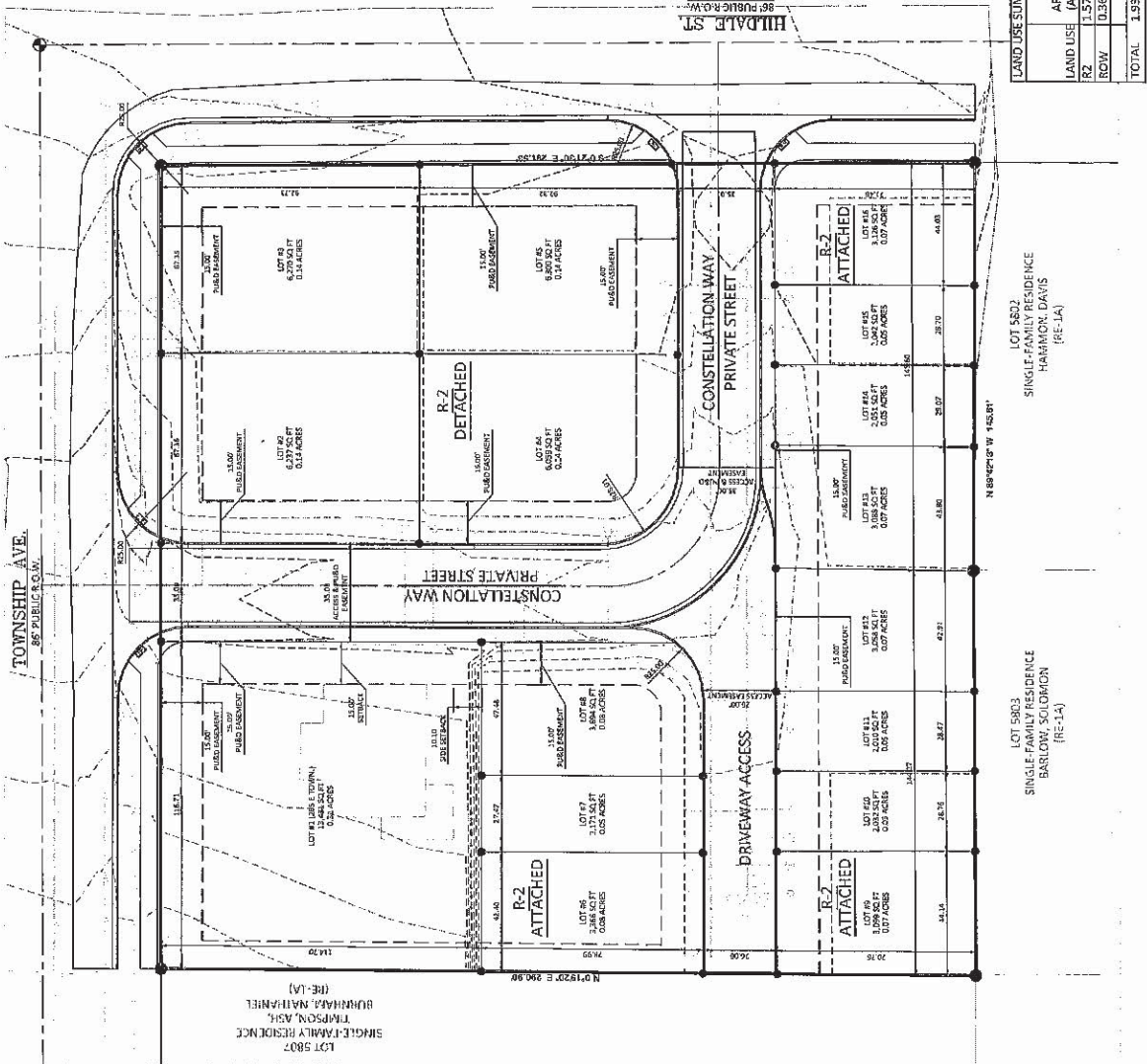
CONTACT INFORMATION
TOTAL AREA: 1.99 ACRES.
OWNER:
EVILSEE KNUDSON
265 E TOWNSHIP AVE
COLORADO CITY, AZ 86021

DEVELOPER:
INFINEX BUILDERS
1475 WEST FIELD AVE.
ST. GEORGE, UT 84784

ENGINEER:
TCT ENGINEERING
THOMAS TIMPSON
3885 S HARRISON ST.
COLORADO CITY, AZ 86021

LAND USE SUMMARY TABLE

LAND USE	AREA (AC.)	# UNITS (AC.)	AVERAGE LOT AREA (AC.)	MINIMUM LOT AREA (AC.)	MAXIMUM LOT AREA (AC.)	(SF)	(SF)	(SF)
R-2	1.57	16	0.1	0.05	2,010	0.31	13,431	
ROW	0.36							
TOTAL	1.93	16	(8.3 UNITS PER ACRE)					



REVISIONS

REV. DATE	DESCRIPTION
1	ISSUANCE

PLAT NO. _____
CORNER NO. _____
OWNER _____
PREPARED BY _____
CHECKED BY _____
DATE _____

U.T.S. 01/20/2020
SHEET 1 OF 1
PRELIMINARY PLAT

P.P.

NORTHWEST 1/4 OF SECTION 5, T. 41 N. R. 6 W. G.S.M. COLORADO COUNTY, ARIZONA

STARLIGHT CLIFFS
PRELIMINARY PLAT

TCT ENGINEERING



STARLIGHT CLIFFS
PRELIMINARY PLAT

NORTHWEST 1/4 OF SECTION 5, T. 41 N., R. 6 W. GASRM
COLORADO CITY, MOHAVE COUNTY, ARIZONA

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT INFORMATION

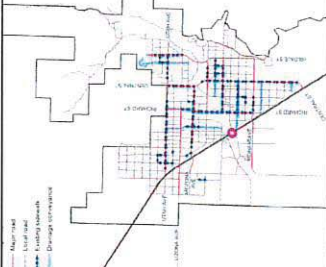
DATE PLOTTED	
DATE PRINTED	
DATE CHECKED	
DATE APPROVED	

STREET CLASSIFICATION LEGEND

[Red dashed line]	EXISTING LOCAL STREET
[Green dashed line]	PROPOSED LOCAL STREET
[Green dashed line]	PROPOSED LOCAL STREET

C2
TRAFFIC CIRCULATION
PRELIMINARY FOR REVIEW ONLY
NOT FOR CONSTRUCTION

TRAFFIC CIRCULATION
EXISTING TRAILS / SIDEWALKS



TRAFFIC IMPACT

PROPOSED STREETS:
IT IS PROPOSED TO CONSTRUCT A TWO-WAY STREET THROUGH THE SITE. THE PROPOSED STREET WILL BE PAVED WITH ASPHALT AND SIDEWALKS WILL BE CONSTRUCTED ON BOTH SIDES OF THE STREET. ACCESS TO TOWNSHIP AVE. & HILDALE ST. WILL BE MAINTAINED THROUGHOUT.

TRAFFIC IMPACTS:
PRIMARY TRAFFIC IMPACT IS TO TOWNSHIP AVE. (LOCAL AND HILDALE ST. INTERSECTION). THE PROPOSED STREET WILL BE CONSTRUCTED IN A MANNER THAT WILL NOT INCREASE TRAFFIC ALONG TOWNSHIP AVE. (LOCAL AND HILDALE ST. INTERSECTION). THE PROPOSED STREET WILL BE CONSTRUCTED IN A MANNER THAT WILL NOT INCREASE TRAFFIC ALONG TOWNSHIP AVE. (LOCAL AND HILDALE ST. INTERSECTION).

CONTACT INFORMATION

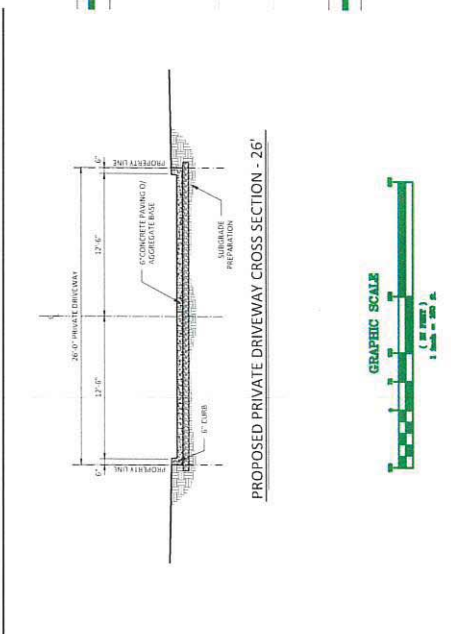
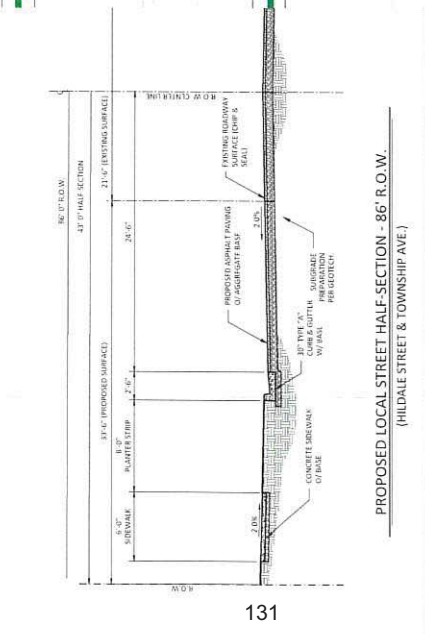
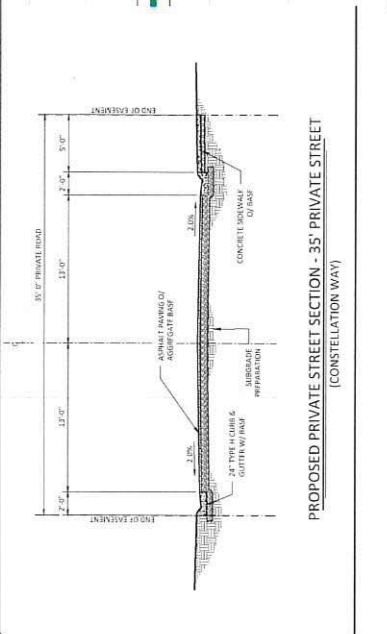
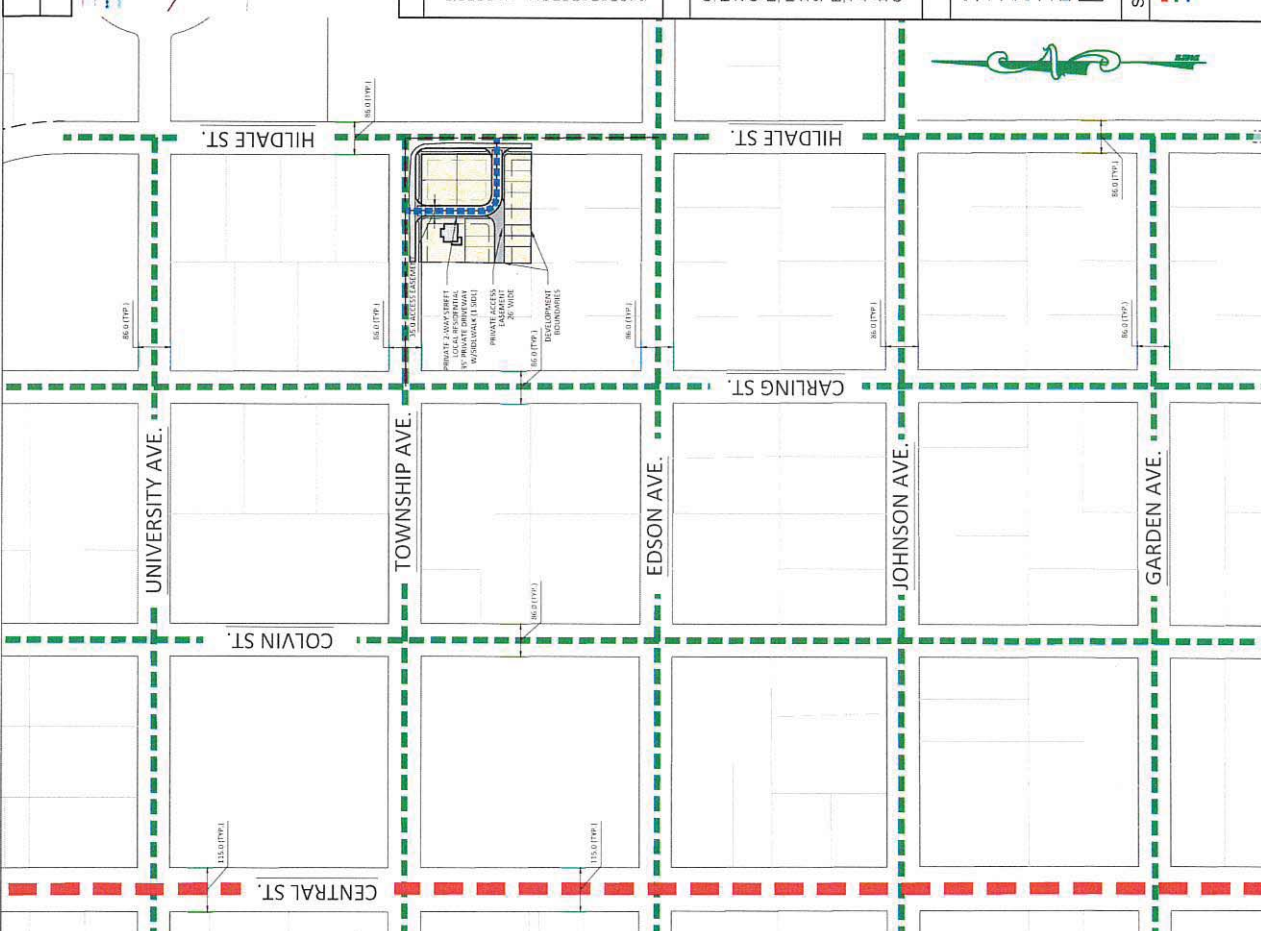
OWNER:
EMILIE KNUDSON
265 E TOWNSHIP AVE
COLORADO CITY, AZ 86021

DEVELOPER:
INFINEX BUILDERS
1475 WEST FIELD AVE.
ST. GEORGE, UT 84784

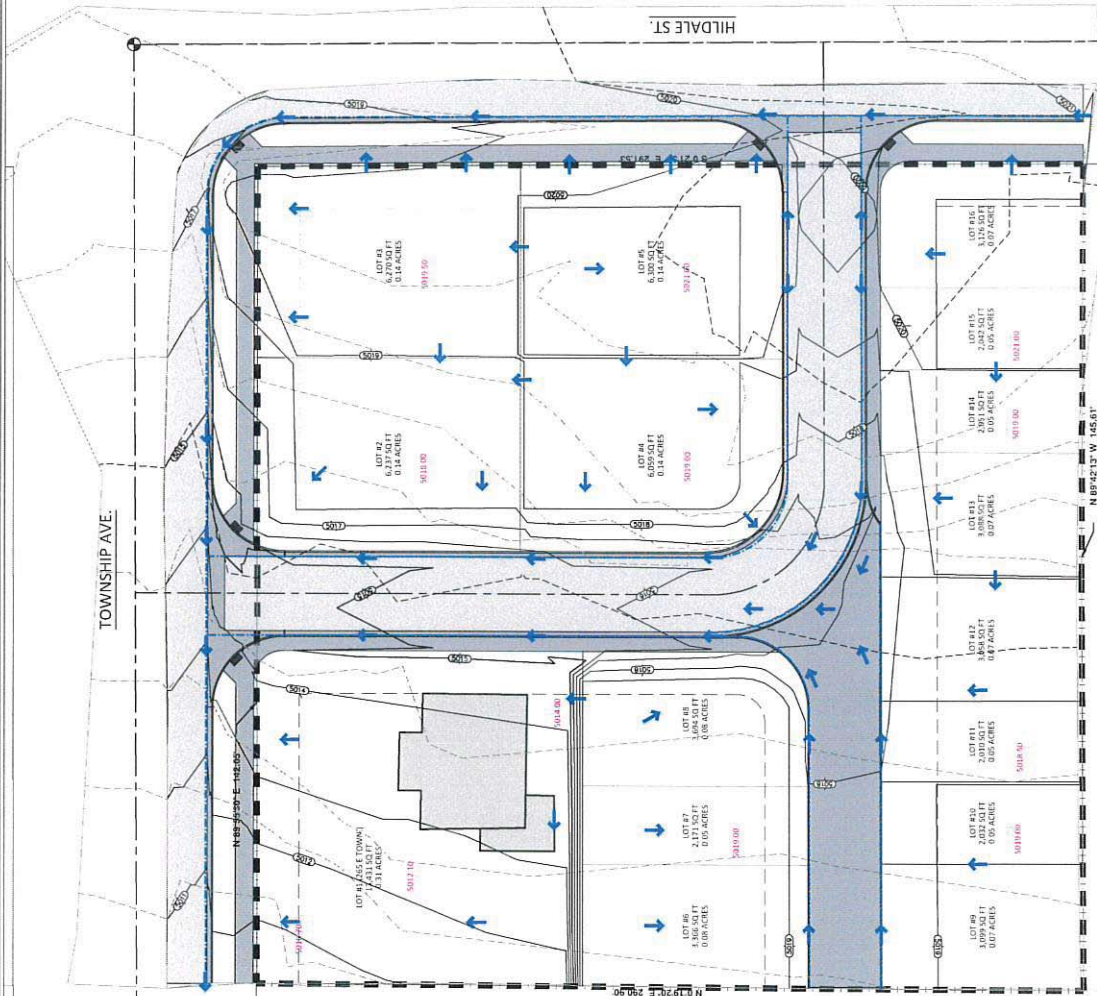
ENGINEER:
TCT ENGINEERING
1965 S HAMMON ST.
COLORADO CITY, AZ 86021

LINE & SYMBOLS LEGEND

[Dashed line]	DEVELOPMENT BOUNDARY
[Dotted line]	PROPOSED LOT LINE
[Line with dashes]	UTILITY & DRAINAGE EASEMENT
[Line with dots]	PROPOSED CURB & GUTTER
[Line with dashes]	PROPOSED CURB & GUTTER
[Line with dashes]	PROPOSED CURB & GUTTER
[Line with dashes]	EXISTING FENCE
[Line with dashes]	PROPOSED CONCRETE SIDEWALK
[Line with dashes]	PROPOSED ASPHALT PAVING



PRELIMINARY GRADING PLAN



LOT 5807
SINGLE FAMILY RESIDENCE
TIMOTHY ASH,
BURRHAM, RATHAMEL
(RE-1A)

LOT 5803
SINGLE FAMILY RESIDENCE
BARLOW, SOLOMON
(RE-1A)

LOT 5802
SINGLE FAMILY RESIDENCE
HAMMON, DAVIS
(RE-1A)

GRAPHIC SCALE
1" = 10' = 30.48m

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

DRAINAGE PLAN

REMARKS:
NORTHWEST 1/4 WEST, BETWEEN THE TWO ROAD SPURLES LOCATED AT THE INTERSECTION OF HILDALE STREET AND EDSON AVENUE AND HILDALE STREET AND TOWNSHIP AVENUE.

PROPOSED DRAINAGE:
ON TOWNSHIP AVENUE, STORMWATER SHALL BE COLLECTED BY CONVEYED RAINING CURB/GUTTER, RUNOFF WILL DISCHARGE FROM THE SITE TO THE PUBLIC 6" W. AT TOWNSHIP AVENUE.

OFF-SITE DRAINAGE:
DUE TO THE EXISTING ELEVATION, DRAINAGE INTO THE PROPERTY IS ENTERING THE PROPERTY, WHICH WILL BE RECEIVED WITH ADDITIONAL DRAINAGE, STORMWATER SHALL BE COLLECTED AT THE STREET AND RUN ACCORDING TO THE WEST SIDE OF THE PROJECT WILL BE DRAINAGE TO THE STREET AND OUT TO THE ROAD.

ALL ELEVATIONS SHOWN ARE FINISHING.

CONTACT INFORMATION

OWNER:
EMILEE KNUDSON
265 E TOWNSHIP AVE
COLORADO CITY, AZ 86021

DEVELOPER:
INFINEX BUILDERS
1475 WEST FIELD AVE.
ST. GEORGE, UT 84784

ENGINEER:
TCT ENGINEERING
THOMAS TIMPSON
1965 S HAMMON ST.
COLORADO CITY, AZ 86021

LINE & SYMBOLS LEGEND

--- --	DEVELOPMENT BOUNDARY
---	PROPOSED LOT LINE
- - -	EXISTING SHADOWER FACILITY
-----	EXISTING CURB & GUTTER
- - - -	PROPOSED CURB & GUTTER
- - - -	PROPOSED CURB
X - -	PROPOSED CONCRETE SIDE WALK
-----	PROPOSED ASPHALT PAVING
-----	EXISTING GRADE CONTOUR
-----	PROPOSED GRADE CONTOUR
-----	STORM DRAIN PIPE
-----	DRAINAGE FLOW LINE
-----	ROAD DIRECTION

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

**STARLIGHT CLIFFS
PRELIMINARY PLAT**

COLORADO CITY, MOHAVE COUNTY, ARIZONA
NORTHWEST 1/4 OF SECTION 5, T. 41 N. R. 6 W. GSRM.

**GRADING &
DRAINAGE
PLAN**

C3





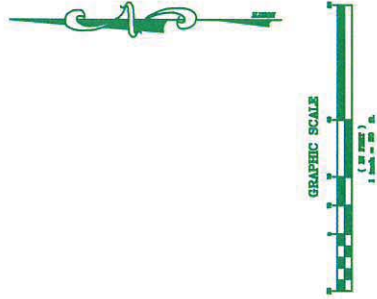
STARLIGHT CLIFFS
 PRELIMINARY PLAN

REV. NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

PROJECT NO.	2024-001
CLIENT NAME	STARLIGHT CLIFFS
DATE	1/20/2024

GRADING &
 DRAINAGE
 PLAN
C3.2

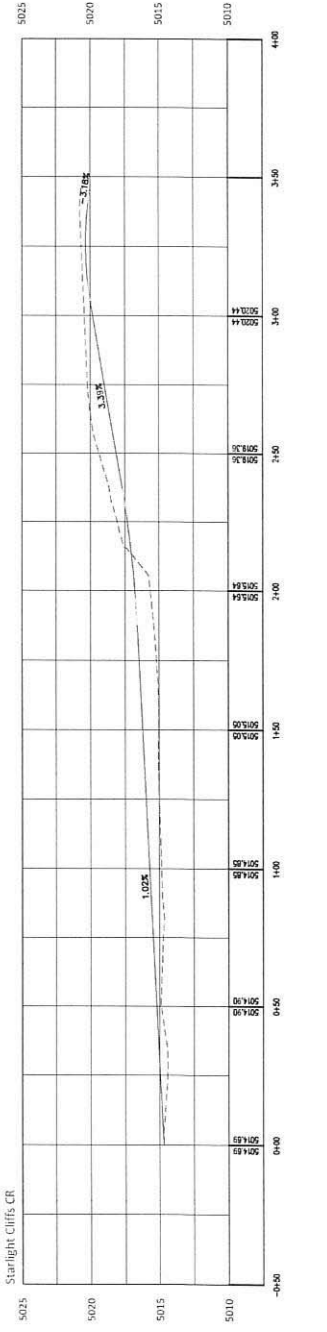
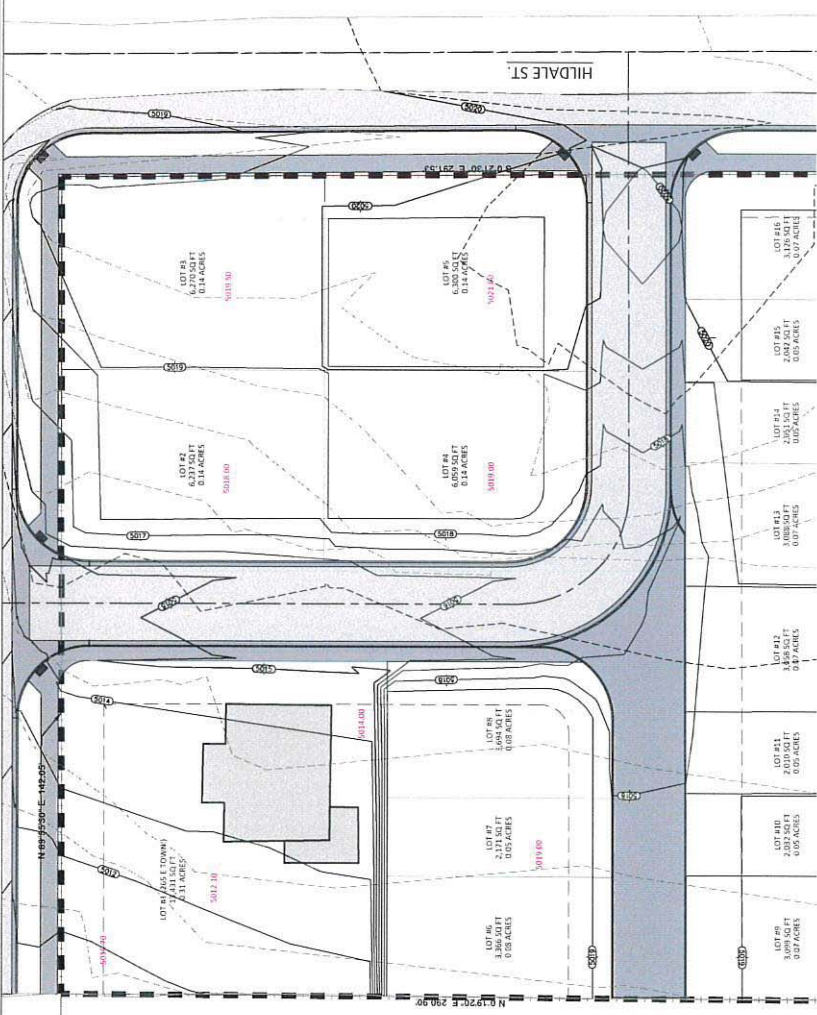
PRELIMINARY GRADING PLAN



LINE & SYMBOLS LEGEND

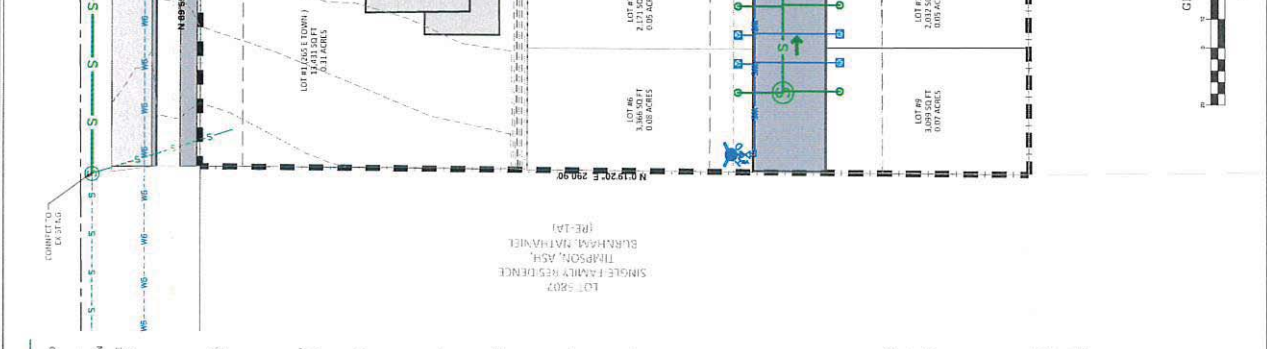
- DEVELOPMENT BOUNDARY
- PROPOSED LOT LINE
- EXISTING LOT LINE
- PROPOSED BUILDING
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED DRIVE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT PAVING
- EXISTING GRADE CONTOUR
- FRESH GRADE CONTOUR
- STORM DRAIN PIPE
- DRAINAGE STRUCTURE
- ROADWAY DIRECTION

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION



LOT #807
 SINGLE-FAMILY RESIDENCE
 TIMPSON, ASH
 BURHAM, RATHABIEL
 (PP. 1A)

1. EXISTING UNDERGROUND UTILITIES AND PROPOSED CHANGES ARE SHOWN IN THE APPROXIMATE LOCATION BASED UPON RECORD DRAWINGS AND FIELD SURVEY DATA. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES, WHETHER SHOWN ON RECORD DRAWINGS OR FIELD SURVEY DATA, PRIOR TO BEGINNING CONSTRUCTION. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT PRICE.
2. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL MUNICIPAL CODES, STANDARDS, AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
3. CONTRACTOR SHALL PROVIDE APPROPRIATE PROTECTION FOR ALL EXISTING UTILITIES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
4. INSTALLATION OF ELECTRIC POWER AND COMMUNICATIONS UTILITIES SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA 72).
5. NEW UTILITIES SHALL CONFORM TO THE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
6. LOCAL RESTRICTIONS, WATER LINES SHALL BE INSTALLED 18" MINIMUM BELOW FINISH GRADE FOR PROTECTION.
7. 14 GAUGE WIRE SHALL BE TAPED TO THE BOTTOM OF ALL WATER SERVICE LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
8. INSTALL CONCRETE THROTTLE BLOCKS AND JOINT RESTRAINTS ON ALL WATER SERVICE LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
9. ALL MANHOLES, VALVE BOXES, AND OTHER SIMILAR ITEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF COLORADO SPRINGS STANDARDS AND SPECIFICATIONS.
10. ALL SEWER STUBS SHALL BE END CLAPPED AND INCLUDE A STAND PIPE PROTECTION.
11. THE WATER SERVICE VALVE IS LOCATED ON THE SPURR SHIF OFF AT THE INTERSECTION OF THE MAIN WATER MAIN AND THE SERVICE LINE.
12. THE FIRE HYDRANT SHALL BE KEPT OPEN AND PROTECTED AT ALL TIMES.
13. MANHOLES SHALL BE INSTALLED IN THE THROTTLE BLOCKS AND JOINT RESTRAINTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
14. NO COVER OR FITTINGS SHALL BE ALLOWED FOR USE IN WATER SERVICE LINES 2" OR SMALLER.
15. ALL WATER SERVICE LINES SHALL BE INSTALLED WITH A MINIMUM COVER OF 18" BELOW FINISH GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
16. ALL WATER SERVICE LINES SHALL BE INSTALLED WITH A MINIMUM COVER OF 18" BELOW FINISH GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
17. A COPPER STOP IS REQUIRED ON THE SERVICE LINE AT THE WATER SERVICE VALVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
18. ALL WATER MAINS SHALL HAVE A WHITE INTERIOR FINISH AND A WHITE EXTERIOR FINISH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
19. MANHOLES SHALL BE INSTALLED WITH A 24" DIA. OPEN TOP AND A 12" DIA. COVER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
20. ALL GAS PIPE MATERIALS SHALL BE GRADE COPR AND FITTINGS SHALL BE GRADE COPR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
21. THE FOLLOWING MINIMUM SEPARATION MUST BE MAINTAINED BETWEEN UTILITIES:
 - 21.1 10" HORIZONTAL SEPARATION BETWEEN GRAVITY SEWER AND WATER MAINS.
 - 21.2 18" HORIZONTAL SEPARATION BETWEEN 2" HIGHER THICK GRAVITY SEWER LINES AND WATER MAINS.
 - 21.3 18" HORIZONTAL SEPARATION BETWEEN 2" HIGHER THICK GRAVITY SEWER LINES AND GAS MAINS.
 - 21.4 18" HORIZONTAL SEPARATION BETWEEN 2" HIGHER THICK GRAVITY SEWER LINES AND POWER OR COMMUNICATION CABLES.
 - 21.5 18" HORIZONTAL SEPARATION BETWEEN 2" HIGHER THICK GRAVITY SEWER LINES AND FIBER OPTIC CABLES.
 - 21.6 18" HORIZONTAL SEPARATION BETWEEN 2" HIGHER THICK GRAVITY SEWER LINES AND TELEPHONE CABLES.
 - 21.7 18" HORIZONTAL SEPARATION BETWEEN 2" HIGHER THICK GRAVITY SEWER LINES AND CABLE TV CABLES.
 - 21.8 18" HORIZONTAL SEPARATION BETWEEN 2" HIGHER THICK GRAVITY SEWER LINES AND ALL OTHER UTILITIES.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLORADO SPRINGS, COLORADO.



UTILITY PROVIDERS

WATER, SEWER, AND GAS PROVIDER
 COLORADO SPRINGS WATER & SEWER DEPARTMENT
 1515 S. TOWNSHIP AVE.
 P.O. BOX 68488
 DENVER, CO 80231
 (303) 455-1100

ELECTRIC POWER PROVIDER
 COLORADO SPRINGS ELECTRIC UTILITY
 1000 W. UNIVERSITY BLVD.
 DENVER, CO 80202
 (303) 733-1000

TELECOMMUNICATIONS PROVIDER
 SOUTH CENTRAL COMMUNICATIONS
 1318 N. 103RD ST.
 DENVER, CO 80231
 (303) 444-3026

SOLID WASTE COLLECTION AND DISPOSAL
 COLORADO SPRINGS WASTE MANAGEMENT
 25 S. CENTRAL ST.
 COLORADO CITY, AZ 86021
 (928) 375-2660

POLICE & EMERGENCY RESPONSE AGENCIES
 COLORADO CITY MARSHAL'S OFFICE
 1000 W. UNIVERSITY BLVD.
 DENVER, CO 80202
 (303) 375-2660

CONTACT INFORMATION

OWNER:
 EMILIE KNUDSON
 205 E. TOWNSHIP AVE
 COLORADO CITY, AZ 86021

DEVELOPER:
 INFREX BUILDERS
 1475 WEST FIELD AVE
 ST. GEORGE, UT 84784

ENGINEER:
 TCT ENGINEERING
 THOMAS TIMPSON
 1965 S. HAMMON ST.
 COLORADO CITY, AZ 86021

LINE & SYMBOLS LEGEND

TYPE	DESCRIPTION
---	DEVELOPMENT BOUNDARY
---	UTILITY & SHARINGE LEGEND
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SEWER LINE
---	PROPOSED SEWER LINE
---	EXISTING GROUND POWER LINE
---	PROPOSED GROUND POWER LINE
---	EXISTING OVERHEAD POWER LINE
---	PROPOSED OVERHEAD POWER LINE
---	EXISTING COMMUNICATIONS LINE
---	PROPOSED COMMUNICATIONS LINE
---	EXISTING FIBER OPTIC LINE
---	PROPOSED FIBER OPTIC LINE
---	EXISTING FIRE HYDRANT
---	PROPOSED FIRE HYDRANT
---	EXISTING WATER VALVE
---	PROPOSED WATER VALVE
---	EXISTING POWER POLE / GAS METER
---	PROPOSED POWER POLE / GAS METER
---	EXISTING SEWER MANHOLE
---	PROPOSED SEWER MANHOLE
---	EXISTING GAS METER
---	PROPOSED GAS METER
---	EXISTING LIGHT POLE
---	PROPOSED LIGHT POLE
---	EXISTING POWER BOX / FIBER CABINET
---	PROPOSED POWER BOX / FIBER CABINET

REVISIONS

NO.	DATE	DESCRIPTION
1		

CONCEPTUAL UTILITIES PLAN

C4

STARLIGHT CLIFFS PRELIMINARY PLAN

TCT ENGINEERING

NORTHWEST 1/4 OF SECTION 5, 14 N. R. 6 W. GASMA
 COLORADO CITY, MOHAVE COUNTY, ARIZONA



STARLIGHT CLIFFS
 PRELIMINARY PLAN

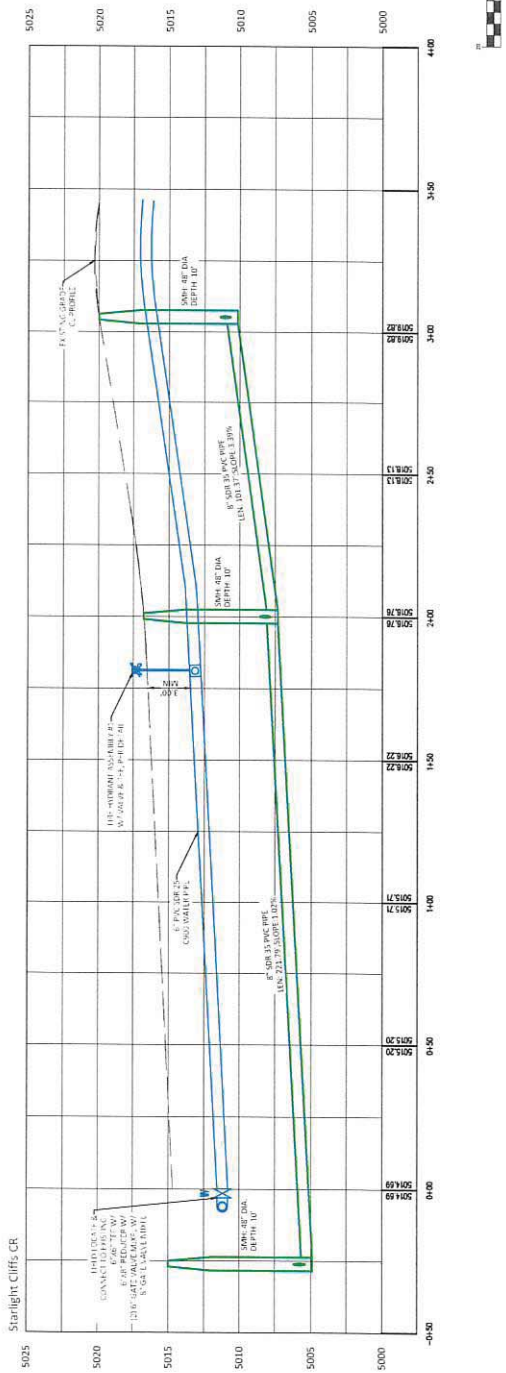
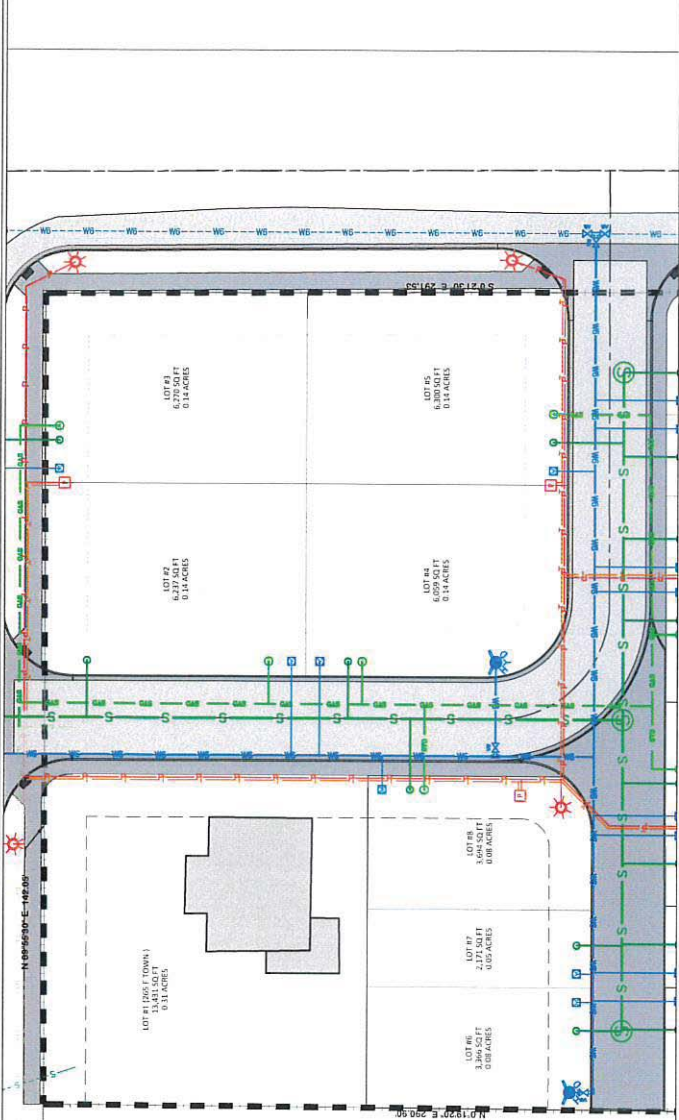
REV.	DATE	DESCRIPTION

PROJECT NO:
 DRAWING FILE:
 DRAWN BY: J.T.
 DESIGNED BY: J.T.
 FIELD CHECKER:
 CHECKED BY:
 DATE: 1/26/2024

SHEET
 CONCEPTUAL UTILITIES PLAN
 C4.2

UTILITIES PLAN PROFILE

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION



TCT ENGINEERING

Date: April 3, 2024
To: Town of Colorado City
Attn: Vance Barlow
Town Manager
From: Thomas Timpson, PE
TCT Engineering
Subject: Response to Review Comments for Starlight Cliffs Preliminary Plat

Mr. Barlow,

This letter is a response to review comments for Starlight Cliffs Preliminary Plat. Review comments were prepared by Sunrise Engineering in a letter dated February 28, 2024. Preliminary Plat drawings have been revised to address the review comments and are included as an attachment to this letter. Review items are enumerated below with a correction response from the engineer shown in blue lettering:

1. The subdivision map should clearly state that this is a "Preliminary Plat".
 - a. Complete – see updated drawings.
 - b. Marked as "Done" by Sunrise Engineering
2. The city has advised that a change of zone was recently approved for the subject property. The zoning of the subject property is R-2. Note 6 of Table 2.2.2 of the CCMC in relation to R-2 lot sizes states: "For Single-Family Attached uses within a common site, the minimum individual lot/dwelling unit size shall be 1,500 square feet." All proposed lot sizes meet the minimum 1,500 square foot minimum lot size.
 - a. Yes, the zone is R-2 and lot sizes meet the minimum requirements, including for the detached single-family lots.
 - b. Marked as "Done" by Sunrise Engineering
3. Comply with Section 153.036 "PRELIMINARY PLAT CONTENTS" of the CCMC.
 - a. Complete – see updated drawings.
 - b. Marked as "Done" by Sunrise Engineering
4. Section 153.038 of the CCMC requires that a statement as to the type of water facilities proposed appear on the preliminary plat. It shall be the responsibility of the subdivider to furnish the city such evidence as the city may require for satisfaction regarding facilities for supplying domestic water. A statement of water adequacy is required from the Arizona Department of Water Resources either for the proposed

subdivision or for the water company (private or public) which will serve the subdivision pursuant to A.R.S. §45-108. The construction plans indicate that water will be provided to the subdivision. A will serve letter was not provided for review, therefore the city will need to verify that capacity exists to serve this subdivision. Additionally, no documentation from the Arizona Department of Water Resources was provided for review.

- a. The proposed water supply system for this project will tie into the existing Hildale / Colorado Utilities public water system.
 - b. The Utility Advisory Board (UAB) recommended preliminary plat approval with the following conditions: Owner shall bring enough water to cover the projected use for the development such as a development agreement, etc, the owner must pay for a Hydraulic Analysis for the impact of the development on the current City system.
 - c. ADEQ approval will be applied for after construction drawings are completed. This is typically a requirement for final plat.
5. CCMC Section 153.039 states that it shall be the responsibility of the subdivider to furnish the city water and sewer department such evidence as that department may require for its satisfaction as to the design and connection to the town sanitary sewage system. No documentation was provided for review verifying that capacity exists to serve this development.
- a. The proposed sewer collection system for this project will tie into the existing Hildale / Colorado Utilities public sewer system.
 - b. The Utility Advisory Board (UAB) recommended preliminary plat approval with the following conditions.
6. CCMC Section 156.15B(2) requires streetlights to be installed at all intersections. None are shown on the plans. No electrical distribution systems are shown on the plans.
- a. Completed – see updated plans with street light locations.
7. CCMC Section 153.037 requires a traffic study to be performed. No traffic study has been submitted for review. The traffic information provided on the preliminary plat does not constitute a traffic study.
- a. The developer is requesting the traffic study requirements be waived due to the scale of the project.
 - b. Traffic impacts: Primary traffic impact is to township ave. (local) and hildale st. (local). The proposed subdivision has 16 lots and it is estimated it will generate approximately 160 trips per day (ADT), which will be a direct increase to traffic along Township Ave. And hildale st. For the time being. Central street (collector) is within 2 blocks of project. Considering the Width of Township Ave. and Hildale St., it is not anticipated the Increase in traffic will have negative impacts to the functional Classification either of these

- existing streets. Hwy 389 is within 1.5 miles, west along Township Ave and through Central St. and Mohave Ave.
- c. After Discussion with Sunrise, it has been determined that a traffic study should not be necessary, as the subdivision traffic will minimally increase the traffic on the concerned streets, and can easily utilize two existing city streets to adequately distribute traffic needs.
8. No phasing plan has been submitted for review.
 - a. The Subdivision will be constructed in one Phase.
 9. A detail should be provided for the private shared driveway. It is unclear as to the width of the private shared driveway. It is common for such a road to terminate in a cul-de-sac so as to provide a proper turning radius for emergency and maintenance vehicles (trash). The city will need to determine if this private shared driveway requires a turn-around. Moreover, the proposed width of the private street does not meet the city's private street standard. (156.16 TYPICAL STREET CROSS-SECTIONS).
 - a. Completed – see updated plan. The Private Driveway 26' wide and will be paved with concrete. It will be located in a dedicated access / utility easement.
 - b. The driveway is in accordance with City Code 156.37 DRIVEWAYS, and is specified on the Preliminary Plat under 'Driveways'.
 - c. Driveways 156.37 (c) - driveways serving single family residential dwellings shall have an improved surface of at least gravel or aggregate road base of a minimum 12 feet wide. Driveways serving two or more residential dwellings shall have an improved surface of at least 16 feet Wide.
 10. Provide dimensions for all access drives and easements on the plans.
 - a. Completed – see updated plan.
 - b. Marked as "Done" by Sunrise Engineering
 11. Identified easements also need to be dedicated for utilities. A 15 foot wide drainage and utility easement is required on each side of a right-of-way (CCMC Section 156.11). The city will need to determine if such easement requirements also apply to private streets.
 - a. Completed – see updated plan.
 - b. Marked as "Done" by Sunrise Engineering
 12. The city should be aware that the proposed lots are small; however, no common recreation area is being provided for recreational opportunities.
 - a. The Sizes of all lots are within the CCMC Requirements for R2 Small Lot Residential Attached and Detached Housing.
 - b. The developer is not planning for additional recreational areas due to the relatively small number of units.
 - c. Recreational amenities are not required in the R2 zone.
 13. It is not common to have a one-way private drive access way serving a development. In all likelihood, the private access drive will not function as a one-way drive, but a

two-way drive. The city needs to be aware of this issue. If parking is allowed on this private drive (20 foot wide paved width) traffic flow and emergency vehicle access may be compromised. The private drive is now shown as a two-way street. The city needs to determine if this design and road width is acceptable.

- a. The Private Road is now a Two-Way road with 26' of pavement designed to serve 14 units. The CCMC has no requirements for private roads other than conforming to Public Right of Way Standards of the CCMC.
 - b. Subdivision HOA and CC&Rs will restrict parking along the private street.
 - c. The developer is requesting a variance on the Preliminary Plat as follows:
 - i. Exceptions to ordinance:
156.16 - typical street cross-sections: 35.00' right-of-way for private streets within subdivision (constellation way) with 26.00' of asphalt paving, 2.00' curb on both sides, & 5.0' sidewalk on one side. (see street section)
 - d. The developer would like to do sidewalk on only one side of the street because it is a low-volume road.
 - i. Under code section 156.09 (H): The Town/City *may* require a sidewalk wherever a curb and gutter is required. Curb and gutter sections may be either 24 inches in width or 30 inches in width. Minimum right-of-way width shall be adjusted to meet these standards as necessary.
14. The lot layout exhibit seems to show that several existing improvements and possibly structures will be bisected by new lot lines. Lot lines should not bisect structures. The city will need to verify if lot lines are bisecting existing improvements and mitigate this issue.
- a. Marked as "Done" by Sunrise Engineering
 - b. The existing structure referred to is an existing basement foundation which is being demolished as part of this development.
15. FEMA FIRM flood designation should be shown on the preliminary plat.
- a. Completed – see updated plan.
 - b. Marked as "Done" by Sunrise Engineering
16. An HOA should be required for this development.
- a. Completed - Preliminary HOA Documents have been provided to the city for review. These documents will be finalized as part of the final plat process.
17. CCMC Section 156.18(F) requires that each development over two acres in size be designed with onsite stormwater detention, be maintained with landscaping and native plants, and integrated into the overall design and layout of the development. The subject property is almost two acres in size.
- a. Completed - A drainage study has been completed and submitted to show the drainage plan and calculated stormwater flow rates.
 - b. No stormwater detention is proposed as this development is under 2 acres.

18. The applicant should provide the following statement in the utility section notes:
The design and construction of water, wastewater, electric and gas utilities shall be in accordance with the APWA (American Public Works Association), Utah Chapter, Manual of Standard Specifications and Manual of Standard Plans, except as amended by the CCMC.
 - a. Completed – see updated plan.
 - b. Marked as “Done” by Sunrise Engineering
19. Utility location and placement should comply with CCMC Section 156.24. Fire hydrant spacing should be checked with the city’s spacing requirements or APWA requirements. It should also be checked whether another fire hydrant is necessary to serve the lots located on the private access drive. (Lots B4, C1-C3).
 - a. Completed – see updated plan.
 - b. Utility placement is in general conformance with the code. Some adjustments have been made to account the reduced street width, but minimum spacing requirements are maintained. Fire hydrant location and spacing will be verified with city during review of construction drawings.
20. The utility plans do not show streetlights or spacing of streetlights. CCMC Section 156.15 requires the installation of streetlights at street intersections and generally at 300 foot maximum intervals on arterial streets. Streetlights and utility laterals serving the streetlights should be shown on the plans.
 - a. Completed – see updated plan.
 - b. Marked as “Done” by Sunrise Engineering
21. No drainage or geotechnical studies were provided for review.
 - a. Completed - A drainage study has been completed and submitted.
 - b. Developer is currently in process of completing geotechnical investigation. Developer is requesting preliminary plat be approved based on condition that a geotechnical investigation is completed prior to approval of construction documents.
22. Any public improvements should be constructed prior to map recordation; if not constructed prior, a performance bond must be submitted and accepted by the city.
 - a. Improvements will be constructed prior to map recordation.
23. Why do street improvements on Township and Hildale streets not extend the entire length of the subject property, but terminate at the access points into the subject property? The city will need to determine if such improvements should extend the entire length of the subject property.
 - a. Completed – see updated plan.
 - b. Street improvements along Hildale St and Township Ave. now extend the entire length of the subject property.
 - c. Marked as “Done” by Sunrise Engineering
24. No electric, gas or telecommunication plans were included in the construction plans for review.

- a. Completed – see updated plan.
 - b. Marked as “Done” by Sunrise Engineering
25. No landscape plans were provided for review.
- a. No landscape plans have been prepared for this project.
 - b. All lots are to be private property with no common landscape area within development. Lot landscaping will be incorporated at time houses are constructed.
 - c. The code requires landscape within the planter strips along Hildale St and Township Ave. The developer is requesting these landscape requirements within these area be deferred to the future home owner / builder.
26. The provided traffic impact statement regarding the paved width of the private road and the provided detail do not match.
- a. Completed – this issue has been fixed – see updated plan.
 - b. Marked as “Done” by Sunrise Engineering
27. The plans are not stamped by a registered civil engineer or surveyor. The plans should be stamped.
- a. Completed – see updated plan.
 - b. Plans have been stamped by Thomas Timpson, PE.

Please review the updated construction plans and design reports attached to this letter. Should you have any questions or concerns regarding the correction made, please feel free to contact me.

Sincerely,



Thomas Timpson, P.E.
TCT Engineering
435-619-6477

Attachments:

Attachment #1: Title

February 28, 2024

Vance Barlow, Town Manager
Colorado City
P.O. Box 70
Colorado City, AZ 86021

RE: Starlight Cliffs Preliminary Plat and Conceptual Construction Plans – [Third Review](#).

Dear Mr. Barlow,

Sunrise Engineering has reviewed the preliminary plat and preliminary construction plans for the Starlight Cliffs development. Below are our comments related to this development. Second review comments are shown in [red](#). Third review comments are shown in [blue](#). [Only the construction drawings were provided for second check review.](#)

1. The subdivision map should clearly state that this is a "Preliminary Plat". [No subdivision map was provided for review. Done.](#)
2. The city has advised that a change of zone was recently approved for the subject property. The zoning of the subject property is R-2. Note 6 of Table 2.2.2 of the CCMC in relation to R-2 lot sizes states: "For Single-Family Attached uses within a common site, the minimum individual lot/dwelling unit size shall be 1,500 square feet." All proposed lot sizes meet the minimum 1,500 square foot minimum lot size. [It is assumed that the above referenced information has not changed on the subdivision map. No subdivision map was provided for review. Done.](#)
3. Comply with Section 153.036 "PRELIMINARY PLAT CONTENTS" of the CCMC. [No subdivision map was provided for review. Done.](#)
4. Section 153.038 of the CCMC requires that a statement as to the type of water facilities proposed appear on the preliminary plat. It shall be the responsibility of the subdivider to furnish the city such evidence as the city may require for satisfaction regarding facilities for supplying domestic water. A statement of water adequacy is required from the Arizona Department of Water Resources either for the proposed subdivision or for the water company (private or public) which will serve the subdivision pursuant to A.R.S. §45-108. The construction plans indicate that water will be provided to the subdivision. A will serve letter was not provided for review, therefore the city will need to verify that capacity exists to serve this subdivision. Additionally, no documentation from the Arizona Department of Water Resources was provided for review. [No subdivision map was provided for review. The city will need to verify that this subdivision complies with state requirements.](#)
5. CCMC Section 153.039 states that it shall be the responsibility of the subdivider to furnish the city water and sewer department such evidence as that department may require for its satisfaction as to the design and connection to the town sanitary sewage system. No documentation was provided for review verifying that capacity exists to serve this development. [The city will need to verify. The city will need to verify.](#)
6. CCMC Section 156.15B(2) requires streetlights to be installed at all intersections. None are shown on the plans. No electrical distribution systems are shown on the plans. [No electrical distribution plans were provided to verify. Streetlights are now shown at all intersections excepting the Hilldale](#)

and Township intersection. In discussion with Jay Timpson, a streetlight will be added at this location.

7. CCMC Section 153.037 requires a traffic study to be performed. No traffic study has been submitted for review. The traffic information provided on the preliminary plat does not constitute a traffic study. **The city will need to determine if the traffic information provided is sufficient. The previous comment still holds true.**
8. No phasing plan has been submitted for review. **It is assumed that this development will be constructed in one phase. The previous comment still holds true.**
9. A detail should be provided for the private shared driveway. It is unclear as to the width of the private shared driveway. It is common for such a road to terminate in a cul-de-sac so as to provide a proper turning radius for emergency and maintenance vehicles (trash). The city will need to determine if this private shared driveway requires a turn-around. Moreover, the proposed width of the private street does not meet the city's private street standard. (156.16 TYPICAL STREET CROSS-SECTIONS). **The city will need to determine if a 28 foot wide ROW width is appropriate. No detail was provided for the private shared driveway. On Page C-1 the only street with dimensions shows the right-of-way to be 700 feet in width. This needs to be corrected. Again, the subdivision map has not been provided for review to verify street widths. In discussion with Jay Timpson, the developer will be asking the city to vary from this requirement.**
10. Provide dimensions for all access drives and easements on the plans. **Not done. No subdivision map provided for review. Done.**
11. Identified easements also need to be dedicated for utilities. A 15 foot wide drainage and utility easement is required on each side of a right-of-way (CCMC Section 156.11). The city will need to determine if such easement requirements also applies to private streets. **Unable to verify. No subdivision map provided for review. Done.**
12. The city should be aware that the proposed lots are small; however, no common recreation area is being provided for recreational opportunities. **The city needs to determine if this design is acceptable. Previous comment still holds true.**
13. It is not common to have a one-way private drive accessway serving a development. In all likelihood, the private access drive will not function as a one-way drive, but a two-way drive. The city needs to be aware of this issue. If parking is allowed on this private drive (20 foot wide paved width) traffic flow and emergency vehicle access may be compromised. **The private drive is now shown as a two-way street. The city needs to determine if this design and road width is acceptable. In discussion with Jay Timpson, the developer will be asking the city to vary from this requirement.**
14. The lot layout exhibit seems to show that several existing improvements and possibly structures will be bisected by new lot lines. Lot lines should not bisect structures. The city will need to verify if lot lines are bisecting existing improvements and mitigate this issue. **No subdivision map provided for review. Corrected and verified in conversation with Jay Timpson.**
15. FEMA FIRM flood designation should be shown on the preliminary plat. **No subdivision map provided for review. Done.**
16. An HOA should be required for this development. **No HOA documentation or CCRs have been provided for review. Not provided for review.**
17. CCMC Section 156.18(F) requires that each development over two acres in size be designed with onsite storm water detention, be maintained with landscaping and native plants, and integrated into the overall design and layout of the development. The subject property is almost two acres in size. **The city will need to determine if a detention basin is necessary. No detention basin is shown on the plans. The drainage study indicates that a detention basin will not be constructed.**
18. The applicant should provide the following statement in the utility section notes: The design and construction of water, wastewater, electric and gas utilities shall be in accordance with the APWA

- (American Public Works Association), Utah Chapter, Manual of Standard Specifications and Manual of Standard Plans, except as amended by the CCMC. Done.
19. Utility location and placement should comply with CCMC Section 156.24.
 20. Fire hydrant spacing should be checked with the city's spacing requirements or APWA requirements. It should also be checked whether another fire hydrant is necessary to serve the lots located on the private access drive. (Lots B4, C1-C3). The city will need to verify. Jay Timpson states that he has been working with the water department on hydrant spacing. The water department will need to verify hydrant spacing.
 21. The utility plans do not show streetlights or spacing of streetlights. CCMC Section 156.15 requires the installation of streetlights at street intersections and generally at 300 foot maximum intervals on arterial streets. Streetlights and utility laterals serving the streetlights should be shown on the plans. No electric distribution plans were provided for review. Done, excepting the location at Township and Hilldale Streets, which Jay Timpson states will be corrected on the plans.
 22. No drainage or geotechnical studies were provided for review. None provided for second review. A drainage study was provided for review. The applicant should comply with the recommendations of the drainage study dated February 2024. No geotechnical study was provided for review.
 23. Any public improvements should be constructed prior to map recordation; if not constructed prior, a performance bond must be submitted and accepted by the city. The city will need to verify. The city will need to verify.
 24. Why do street improvements on Township and Hilldale streets not extend the entire length of the subject property, but terminate at the access points into the subject property? The city will need to determine if such improvements should extend the entire length of the subject property. Street improvements are now shown being extended to the end of the subject property on Township and Hilldale Streets. Done.
 25. No electric, gas or telecommunication plans were included in the construction plans for review. A gas distribution system is now shown on the plans. Done.
 26. No landscape plans were provided for review. None provided for the second check. None provided for the third check.
 27. The provided traffic impact statement regarding the paved width of the private road and the provided detail do not match. Corrected. Done.
 28. The plans are not stamped by a registered civil engineer or surveyor. The plans should be stamped. Not done. Not done.

Please call me at (435) 233-0382 with any questions or comments.

Sincerely,



Brad Robbins
Planning Manager



Town of Colorado City

25 S. Central St., Colorado City, AZ, 86021
Phone#(928) 875-2646, Fax#(928) 875-2778

Land Use Application

Today's Date 7/10/23

Application is made for:

<input type="checkbox"/> Abandonment\Reversion to Acreage	<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Lot Line Adjustment	<input type="checkbox"/> Rezoning	<input type="checkbox"/> Sketch Plan
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Subdivision Preliminary Plat	<input checked="" type="checkbox"/> Subdivision Final Plat	<input type="checkbox"/> Variance	<input type="checkbox"/> Zoning Map Change
<input type="checkbox"/> General Plan Amendment	<input type="checkbox"/> Land Use Verification/Other	<input type="checkbox"/> Development Review	<input type="checkbox"/> Other	

Project Name Short Creek Subdivision Block 21 Amended

Property Address / Location Approx. 50 West Academy Avenue

Township 42 North Range 6 West Section 31 Quarter Section NE & SE

Assessor's Parcel Number 404-31-082, 404-53-049 & 153 Gross Acres 2.97 Net Acres

Number of Lots 5 Square Footage of Buildings on Property N/A

Existing Use Vacant Land Proposed Use Residential Single Family

Applicant

Name Virginia Canepari

Company

Address 25 West Plum Ave

City Colorado City State AZ Zip 86021

Phone Number 801-707-1165

Email ginnycanepari@gmail.com

Project Engineer

Name Charles Hammon

Company Excel Design Associates

Address 1185 West Utah Avenue, Suite 102

City Hildale State UT Zip 84784

Phone Number (435) 619-4586

Email charles@exceldesign.us

Describe proposed project, and purpose of project, in detail below. (use additional sheets if necessary) :

Adjusting lot lines of two existing lots and subdividing vacant land into a single family residential, 5 lot subdivision.

Attach all supplemental documentation, such as Letter of Intent, Record of Survey, Subdivision Plats, Parcel Maps, Assessor Info. etc.

I hereby certify that the information provided is correct and that I am authorized to file an application on said property. I understand that all supplemental documentation and fees must be submitted before this application will be processed.

Signature of Applicant:

DocuSigned by:
Virginia Canepari
51C5694F8C3743A...

Signature of Owner:

DocuSigned by:
Jeff Barlow
3C238CC3A012404...

Office Use Only

Date Received : Filing Fee : Project Number :

SHORT CREEK SUBDIVISION BLOCK 21 AMENDED

TOWNSHIP 42 NORTH, RANGE 6 WEST, GRISM
 COLORADO CITY, MOHAVE COUNTY, ARIZONA

ACKNOWLEDGMENT

STATE OF _____ COUNTY OF _____
 I, _____, personally appeared _____ and _____, known to me to be the persons whose name are subscribed to this document, and acknowledged they executed the same.
 NOTARY PUBLIC FULL NAME: _____
 COMMISSION NUMBER: _____
 A NOTARY PUBLIC COMMISSIONED IN _____
 NOTARY PUBLIC (SIGNATURE) _____

ACKNOWLEDGMENT

STATE OF _____ COUNTY OF _____
 ON THIS _____ DAY OF _____ A.D. 20____, personally appeared _____ and _____, known to me to be the persons whose name are subscribed to this document, and acknowledged they executed the same.
 NOTARY PUBLIC FULL NAME: _____
 COMMISSION NUMBER: _____
 A NOTARY PUBLIC COMMISSIONED IN _____
 NOTARY PUBLIC (SIGNATURE) _____

SURVEYOR'S CERTIFICATE

I, SCOTT P. WOOLSEY, SURVEYOR, AND DRAWING AS THE PROPERTY DESCRIBED AND RELATED HEREON WAS MADE UNDER MY DIRECTION AND SUPERVISION AND IS ACCURATELY REPRESENTED ON THIS PLAT. I ALSO CERTIFY THAT THE PLAT IS IN SUBSTANTIAL CONFORMANCE WITH THE SUBDIVISION PLAT ACT AND THAT THIS PLAN IS CORRECT AND ACCURATE AS SHOWN HEREAFTER TO BE KNOWN AS:
SHORT CREEK SUBDIVISION BLOCK 21 AMENDED

BOUNDARY DESCRIPTION

Beginning at the Southeast Corner of Block 21, as defined by Colorado City Amended Board Dedication Plat #2 Reception No. 19-2078B, 1891 Town of Colorado City, Mohave County, Arizona, said point substantially North 00°07'20" West, 43.00 feet to the intersection of the line of said Block 21 and the line of Academy Avenue, and thence North 89°45'51" West, along the North right of way line of Academy Avenue, a distance of 144.89 feet to the intersection of the line of said Block 21 and the line of Spencer Cove (60 West), and thence North 21°22'07" East, a distance of 143.43 feet to the intersection of the line of said Block 21 and the line of Central Street, and thence North 67°20'07" East, a distance of 96.16 feet, to a point on the West right of way line of Central Street, and thence South 23°43'07" East, a distance of 232.43 feet, to the intersection of the line of said Block 21 and the line of Pioneer Street, and thence South 41°30'07" East, along said right of way line, a distance of 213.08 feet to the intersection of the line of said Block 21 and the line of Academy Avenue, and thence South 00°07'20" East, along said right of way line, a distance of 202.75 feet to the Point of Beginning.
 Containing 383,884 square feet or 8.71 acres, more or less.



OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS OF THE ABOVE DESCRIBED TRACT HAVE HEREBY DEDICATED AND CONVEYED TO THE PUBLIC THE RIGHT OF WAY FOR THE INSTALLATION OF PUBLIC UTILITIES AND DRAINAGE EASEMENTS TO BE HEREINAFTER KNOWN AS:

SHORT CREEK SUBDIVISION BLOCK 21 AMENDED

FOR GOOD AND VALUABLE CONSIDERATION RECEIVED DO HEREBY VOUCHER AND CONVEY TO TOWN OF COLORADO CITY, ARIZONA, THE RIGHT OF WAY FOR THE INSTALLATION OF PUBLIC UTILITIES AND DRAINAGE EASEMENTS TO BE HEREINAFTER KNOWN AS:

IN WITNESS WHEREOF I HAVE SET MY HAND THIS _____ DAY OF _____, 20____.

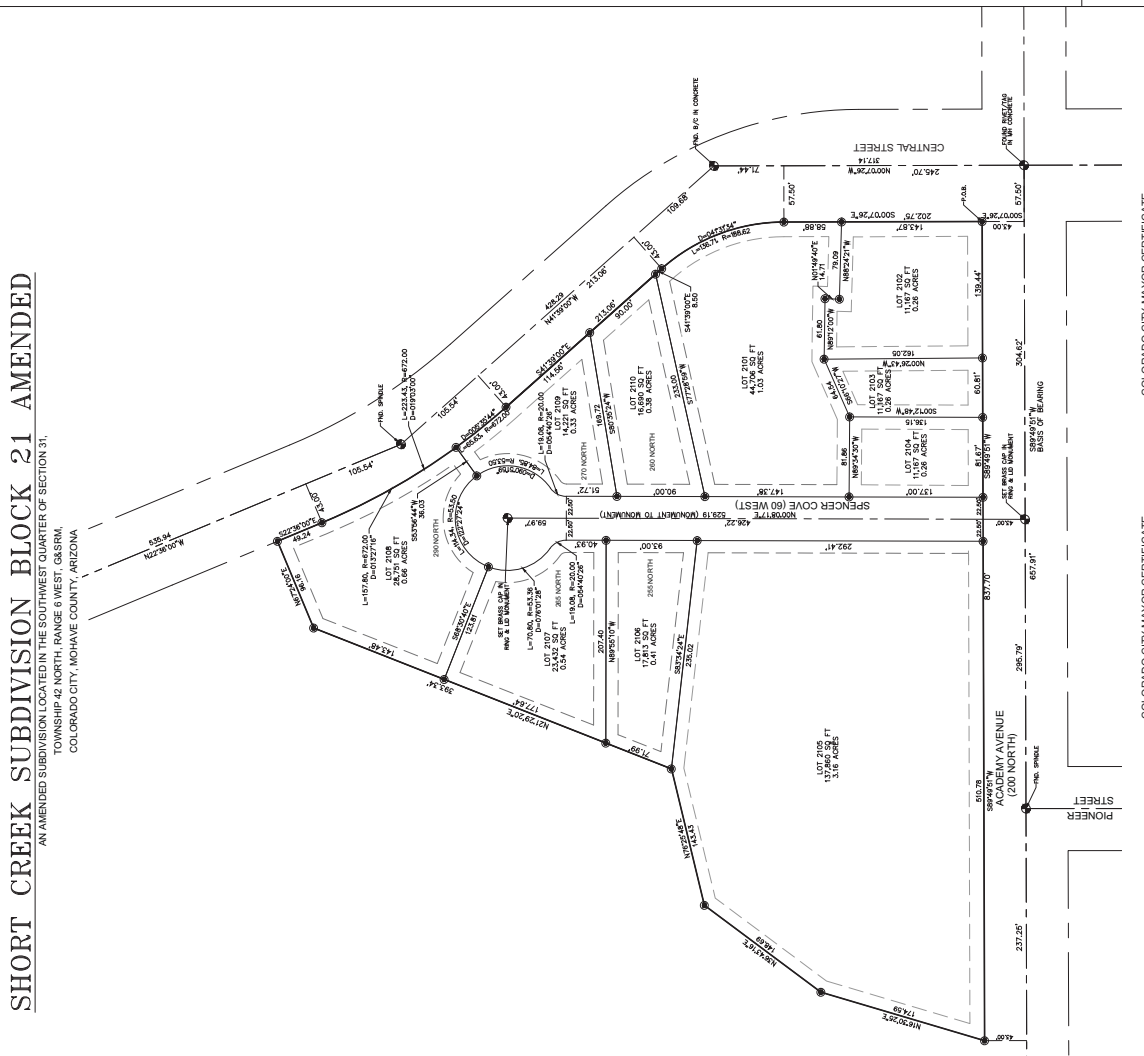
ACKNOWLEDGMENT

UNITED EFFORT PLAN _____ JOHN BLACKMORE
 DAVID DOCKSTADER, JR. _____ ZINA BLACKMORE
 STATE OF _____ COUNTY OF _____
 ON THIS _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED _____ AND _____, WHOSE NAMES ARE SUBSCRIBED TO THIS DOCUMENT AND ACKNOWLEDGED RECEIVED THE SAME.
 NOTARY PUBLIC FULL NAME: _____
 COMMISSION NUMBER: _____
 A NOTARY PUBLIC COMMISSIONED IN _____
 NOTARY PUBLIC (SIGNATURE) _____

FINAL PLAT OF SHORT CREEK SUBDIVISION BLOCK 21 AMENDED

THIS SUBDIVISION FINAL PLAT RECORDED AND FILED AT THE REQUEST OF: _____ THE UNITED EFFORT PLAN
 OWNERS OF THE ABOVE-DESCRIBED PROPERTY, ON THE _____ DAY OF _____, 20____.

AT RECEPTION NUMBER _____ DATE _____
 DEPUTY COUNTY RECORDER _____
 COUNTY RECORDER _____



GENERAL NOTES & RESTRICTIONS

1. A 15.00 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT ALONG ALL FRONT LOT LINES AND A 12.5 FOOT WIDE PUBLIC UTILITY EASEMENT EXISTS ALONG ALL SIDE AND REAR LOT LINES.
 2. THE BASIS OF BEARING FOR THIS SURVEY IS SOUTH 89°45'51" WEST, BETWEEN SPENCER COVE (60 WEST) AND ACADEMY AVENUE AND PIONEER STREET.
LEGEND
 PROPERTY CORNER MONUMENT TO BE SET (ALPHA ENG. REBAR & CAP)
 CENTERLINE MONUMENT AS NOTED
 CENTERLINE
 EASEMENT LINE
GRAPHIC SCALE
 1 inch = 60 ft. (24x36 SHEET)
 0 30 60 120

COLORADO CITY MAYOR CERTIFICATE

THE COLORADO CITY TOWN COUNCIL REVIEWED AND APPROVED THIS PLAT, SUBJECT TO THE CONDITIONS ATTACHED THERETO, TO THE REQUIREMENTS OF THE TOWN OF COLORADO CITY AND ACCEPTED THIS SUBDIVISION PLAT AND APPROVE IT AS TO FORM, AND RECEIVED SATISFACTORY ASSURANCE NECESSARY TO GUARANTEE COMPLETION OF ALL DESIRED IMPROVEMENTS.
 COLORADO CITY MAYOR _____ DATE _____
 TOWN OF COLORADO CITY ATTORNEY _____ DATE _____
 COLORADO CITY TOWN CLERK _____ DATE _____

COLORADO CITY MAYOR CERTIFICATE

THE COLORADO CITY TOWN COUNCIL REVIEWED AND APPROVED THIS PLAT, SUBJECT TO THE CONDITIONS ATTACHED THERETO, TO THE REQUIREMENTS OF THE TOWN OF COLORADO CITY AND ACCEPTED THIS SUBDIVISION PLAT AND APPROVE IT AS TO FORM, AND RECEIVED SATISFACTORY ASSURANCE NECESSARY TO GUARANTEE COMPLETION OF ALL DESIRED IMPROVEMENTS.
 COLORADO CITY MAYOR _____ DATE _____
 TOWN OF COLORADO CITY ATTORNEY _____ DATE _____
 COLORADO CITY TOWN CLERK _____ DATE _____



October 18, 2023

Vance Barlow, Town Manager
Colorado City
P.O. Box 70
Colorado City, AZ 86021

RE: Short Creek Subdivision Block 21 Subdivision Review – Final Plat

Dear Mr. Barlow,

Sunrise Engineering has reviewed the final plat for the Short Creek Subdivision Block 21 final plat. Below are our review comments regarding the proposed final plat.

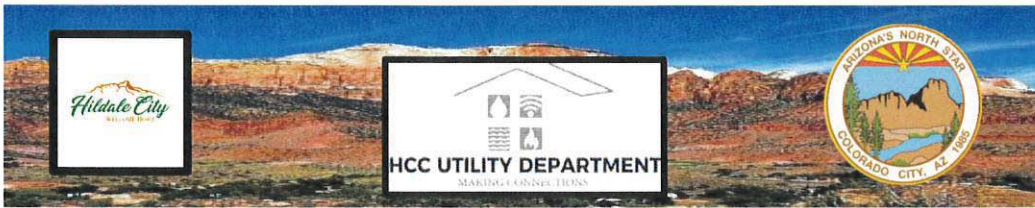
1. A vicinity map is recommended.
2. The subject property is zoned RE-1A, R-1-20 and agriculture. It is possible that the city's zoning map is drawn incorrectly and there is no agriculture zone on the property. Only Lots 2101 and 2105 meet the minimum lot size requirement of the RE-1A zone of one (1) acre. Lots 2104 and 2103 do not meet the minimum lot size requirement of the R-1-20 zone of 20,000 square feet. The city will need to verify if the zoning shown on the city's zoning map is correct, because only a few of the lots proposed on this subdivision meet minimum lot size requirements. **Zoning Ok**
3. It is recommended that a title report be required and reviewed prior to recordation to verify ownership and check for any encumbrances.
4. If the proposed cul-de-sac has not been constructed prior to recordation, assurance is required to guarantee road completion. Construction plans should also be submitted for review. **cul-de-sac ok**
5. The FEMA FIRM flood designation should be shown on the final plat. If this plat is located within a 100 year flood plain, it should be identified on the plat. **outside of 100 year flood zone**
6. No drainage study was provided for review.
7. There is no public street standard of 45 feet in width in the design standards of the Colorado City Municipal Code (Section 156.16). If Spencer Cove is a public street, it should meet Colorado City design standards. The city will need to verify that a 45 foot wide public street is sufficient for this development. **45 ft width approved with preliminary plat**
8. The radius of the cul-de-sac is not shown. It should be a minimum 50 foot radius. **59 ft**
9. Any CCRs should be provided for review and approved prior to map recordation. **none**
10. An ADEQ certificate of approval of sanitary facilities may be required. ADEQ approvals are required for construction of drinking water facilities (approval to construct certificate). Other ADEQ approvals and permits may be necessary. **utilities inspected and passed by Utility Dept.**
11. There are two blocks for the mayor's signature. One of these should be for the city attorney. **corrected**
12. The county environmental services director may need a signature block. **not required**
13. It is unclear if any off-site public improvements are required. If so, the city should enter into a development agreement to ensure such improvements will be constructed (CCMC Section 156.19). **none required.**

Please call me at (435) 233-0382 with any questions or comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Brad Robbins". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Brad Robbins
Planning Manager



Hildale/Colorado City Utility Department

Spencer Cove Project

The 8 inch water main was installed to the stakes placed by Excell Design. The water line is installed more than 10 feet away from the sewer main. The water line has passed our pressure test and Bac Tee test as well as the tracer wire continuity test. The sewer main has passed our inspection process and we have the GPS points on this project. The gas main and services have been installed and tested according to our standards.

Nathan Fischer 435-922-5135

Utility Superintendent

A handwritten signature in red ink, appearing to read 'Nathan Fischer', positioned below the printed name and title.

EXHIBIT “E”

When recorded, return to:
Town Clerk of The Town of Colorado City, Arizona
PO Box 70
Town of Colorado City, Arizona 86021

RESOLUTION NO. 2024-10

A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF COLORADO CITY, ARIZONA, AUTHORIZING THE MAYOR TO ENTER INTO AN INTERGOVERNMENTAL AGREEMENT WITH MOHAVE COUNTY FLOOD CONTROL DISTRICT FOR FLOOD CONTROL PURPOSES.

WHEREAS, as per A.R.S. Title 9, Chapter 1, Article 3, Section 9-137 and Title 11, Chapter 7, Article 3, Section 11-952, the Town of Colorado City is authorized to enter into intergovernmental agreements with other agencies, and

WHEREAS, in A.R.S. Title 11, Chapter 2, Article 4, Section 11-251(30), the State of Arizona has authorized the Mohave County Board of Supervisors to do that which is necessary to carry out its functions; and

WHEREAS, Mohave County has established the Mohave County Flood Control District, a political subdivision of the State of Arizona, to generate funding for flood control studies and improvements; and

WHEREAS, the Town Council desires to enter into the attached Intergovernmental Agreement with Mohave County Flood Control District to further flood control programs and implementation of the drainage and flood control project as described in the IGA; and

WHEREAS, the Town of Colorado City has made application for and is eligible for up to \$24,548 for Flood Control Projects, and

NOW THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE TOWN OF COLORADO CITY, ARIZONA THAT:

The Mayor is hereby authorized to execute on behalf of the Town of Colorado City, an Intergovernmental Agreement with Mohave County Flood Control District relating to Flood Control District Funding.

PASSED AND ADOPTED by the Mayor and Council of the Town of Colorado City, Arizona, this 15th day of April 2024.

Mayor

ATTEST:

Town Clerk



MOHAVE COUNTY FLOOD CONTROL DISTRICT

DEPARTMENT OF DEVELOPMENT SERVICES

P. O. Box 7000, Kingman, Arizona 86402-7000 3250 E Kino Ave, Kingman, AZ 86409 Telephone (928) 757-0925 FAX (928) 757-0912

www.mohave.gov

Paul Baughman, P.E., CFM
District Engineer

Timothy M. Walsh Jr., P.E.,
Development Services Director

March 27, 2024

Vance Barlow, Town Manager
Town of Colorado City
P.O. Box 70
Town of Colorado City, AZ 86021

CERTIFIED MAIL

Subject: Mohave County Flood Control District Fund Allocation – Fiscal Year 2024

Dear Mr. Barlow:

We are pleased to start the process of distributing Mohave County Flood Control District funds to the incorporated Cities and Towns for Special Projects that are flood or drainage related. In order to expedite the processing of the Intergovernmental Agreement (IGA) between the Mohave County Flood Control District and your City/Town, we have attached a draft conceptual IGA for your review and potential changes as to form. Please provide us with the following information, via email to ortmaj@mohave.gov, as soon as you can.

- ◆ Provide any requested IGA form changes.
- ◆ Provide any name changes for City officials and authorized persons who will be responsible for signing the IGA;
- ◆ If no changes are needed, please provide the expected Council meeting date.

Following approval by your City/Town Council, please mail two original signed IGA's with the following Exhibits:

- ◆ Exhibit "A" Description of Projects (Proposed for Fiscal Year 2025);
- ◆ Exhibit "B" Accounting of Prior Funding and Balance; and
- ◆ Exhibit "E" City/Town Resolution

To:

Mohave County Development Services
Flood Control District
Attention: Jon Ortman
P.O. Box 7000
Kingman, AZ 86402

The completed IGA will be presented to the County Board of Supervisors/Flood Control District Board of Directors for approval. Following their approval, a recorded original will be mailed to you via certified mail.

We trust the above procedures and request meet your requirements and approval.

It is our pleasure to be of service to the Cities and Towns. Should you need any further information or have any questions, please contact Shelly Watson or the undersigned at (928) 757-0925.

Sincerely,

Timothy M. Walsh Jr., P.E.
Development Services Director
Flood Control District Engineer



**INTERGOVERNMENTAL AGREEMENT
BETWEEN THE MOHAVE COUNTY FLOOD CONTROL DISTRICT AND
TOWN OF COLORADO CITY, ARIZONA, FOR FLOOD CONTROL**

THIS INTERGOVERNMENTAL AGREEMENT BETWEEN THE MOHAVE COUNTY FLOOD CONTROL DISTRICT AND TOWN OF COLORADO CITY, ARIZONA, FOR FLOOD CONTROL (the “**Agreement**”) is entered into, effective this _____ day of _____, 2024, between the Mohave County Flood Control District, a political subdivision of the State of Arizona, (the “**District**”) and Town of Colorado City, a municipal corporation of the State of Arizona, (the “**Town**”). The District and the Town are sometimes collectively referred to as the “**Parties**” or individually as the “**Party**”.

RECITALS

WHEREAS:

- A.** The Town is authorized to enter into this Agreement under Arizona Revised Statutes Section 11-952.
- B.** The District is authorized to enter into this Agreement under the Constitution of Arizona, Article XIII, Section 7, and other applicable laws including Arizona Revised Statutes, Title 48, Chapter 21.
- C.** The District administers the Federal Emergency Management Agency (“**FEMA**”) Regulations under the National Flood Insurance Program.
- D.** The District and Town are within the geographical boundaries of Mohave County, a body politic and corporate of the State of Arizona, (“**Mohave County**” or the “**County**”).
- E.** The District, Town, and County are separate and distinct political subdivisions, but each can provide for the benefit of the other(s), for the benefit of public health, safety and welfare, and other public purposes.
- F.** The District and Town desire to participate jointly in a flood control project as proposed by the Town (the “**Project**”), as described on **Exhibit “A”** attached hereto, to increase safety and protect public and private property and persons within the Town.
- G.** Among other things, the District receives tax proceeds as general funding for the planning, construction, and maintenance of flood control improvements.
- H.** Under the budgeting process for the District, a category of “Special Projects” has been established, setting aside monies that may be utilized by the various political subdivisions located within the boundaries of Mohave County, provided they are flood or drainage related, part of an overall plan, cost effective, a benefit to the County, District, and, as here, Town communities, and in accordance with FEMA Regulations.
- I.** The Town has prepared a budget for the Project that has been reviewed by the District, and upon which the District relies.
- J.** The Town has previously participated in flood control projects during prior fiscal years, for which it has received funds. A spread sheet showing an accounting for allocations received, monies spent, and account balances (if any) is attached hereto as **Exhibit “B”**.
- K.** The Town desires to receive District Special Projects funds (the “**Funding**”) for the fiscal year, for part of the funds the Town anticipates projected as necessary for its current Project, which Funding is described on **Exhibit “C”** attached hereto.
- L.** Pursuant to the requirements of and powers granted by Arizona Revised Statutes (“**A.R.S.**”) Title 11, Chapter 7, Article 3, Section 11-952; Title 48, Chapter 21, Article 1, Section 48-3603; and, Title 9, the Parties desire to enter into this Agreement.
- M.** Acting through its duly elected governing body, by Resolution, the District’s Board approved the District entering into this Agreement, and authorized the District’s Chairman as its representative to execute the same on behalf of the District.

N. Acting through its duly elected governing body, by Resolution, the Town's Council approved the Town to enter into this Agreement, and authorized the Town's Mayor as its representative to execute the same on behalf of the Town.

AGREEMENTS

NOW THEREFORE, for good and valuable consideration, including consideration of the mutual promises, terms and conditions hereinafter set forth, including the mutual promises and obligations to be performed by the Parties hereto, the Parties agree as follows:

1. INCORPORATION BY REFERENCE. The above Recitals shall be incorporated by reference as part of the Parties' agreements and/or as the basis of consideration for this Agreement.

2. COMMENCEMENT, DURATION, AND TERMINATION.

2.1 The effective date shall be set forth on page one (1) of this Agreement. Performance under this Agreement shall commence following the effective date and it shall continue in full force and effect until the completion of the Project, unless earlier terminated as provided hereinafter. This Agreement shall terminate of its own accord upon the satisfactory completion of all its terms and conditions, or upon one (1) year from its effective date, whichever is longer, unless extended by the Parties in writing.

2.2 Either Party may terminate this Agreement, with or without cause, by one Party serving upon the other, a thirty (30)-day prior written Notice of Termination.

2.3 This Agreement may be canceled in accordance with A.R.S. Title 38, Chapter 3, Article 8, Section 38-511.

2.4 Nothing to the contrary withstanding, the termination or cancellation of this Agreement does not terminate the responsibility for the Town's full accounting of Funding and its return of any then unused funds; the continuing obligations of legal compliance under Section 5; indemnification, hold harmless and defense obligations under Section 7; and the continuing of applicable terms of this agreement as to past matters including as to funds disbursed by the District to the Town as is herein otherwise set forth.

3. PURPOSES. The basic purpose of this Agreement is to set forth the terms and conditions of the Project, Project Work, and the financing of it regarding the Parties' roles therein.

4. RESPONSIBILITIES [INCLUDING FINANCING AND BUDGET]. The Parties shall be responsible as follows:

4.1 District. The District shall:

4.1.1 Review the request for proposal scope of work, drawings (plans), and specifications for this Project generally described on **Exhibit "A"** for comment, if the District, in its discretion, desires to make comment. Such review or comment that may occur does not place any responsibility or liability on the District for the integrity of the Project or its work (the "**Project Work**").

4.1.2 Review the budget prepared by the Town (**Exhibit "B"** hereto).

4.1.3 Provide Funding as available and appropriate upon the Town's application to the District, as provided on **Exhibit "C"**. The Funding shall be made available following the effective date of this Agreement. The Funding is to be included in the current Town Flood Control District Allocation balance or a total balance set forth on **Exhibit "C"**. Funding is to be used for the Project(s) in Fiscal Year, 2025.

4.1.4 Due to the shared benefit of the ALERT Flood Warning System, funding for the ALERT Flood Warning System, in the amount of \$650,000, has been deducted from District revenues collected, prior to calculating the distribution amounts to the Cities and the District.

4.2 Town. The Town shall:

4.2.1 Provide Project design plan and specifications, in accordance with Town, District, State, and Federal standards, to the District for its review and approval.

4.2.2 Prepare and keep current a budget for the Project within which parameters the Town will fiscally generate for this Project and its completion, unless the Town provides any required additional funding.

4.2.3 Utilize properly Arizona licensed engineers and contractors for the Project and all the Project Work.

4.2.4 Properly bond the Project as required for Public Works' projects pursuant to A.R.S. Title 34, Chapter 2, Article 1, Section 34-201 and Article 2, Section 34-222.

4.2.5 Furnish the District with a written, notarized statement of the Project engineer, contractor, and Town to certify the completion of the Project Work and the Town's satisfaction with the Project Work.

4.2.6 Provide the District with proof of final payments to the engineer, contractor, subcontractors, and that no liens exist against the County, District, Town, or contractor in relation to the Project or the real property associated therewith.

4.2.7 As necessary, timely provide additional amounts beyond the Funding, for full funding of the full completion of this Project.

4.2.8 Establish a special account for the Funding to be received and spent on this Project.

4.2.9 Provide for an independent audit by a certified public accountant setting forth the use and/or status of the Project Funding, and forward a copy of the audit to the District.

4.2.10 Return to the District, any unused Funding (if any exist) within four (4) calendar weeks of completion, termination, or cancellation of the Project.

4.2.11 The Town shall contract directly for all Project Work, including its design, supervision, and construction, and be responsible for the proper disbursement of Funding paid by the Parties, pursuant to the express terms of this Agreement.

4.2.12 The Town, and not the District or the County, shall be directly responsible for maintaining the Project and/or the Project Work.

4.3 **Jointly.** The District and Town mutually agree:

4.3.1 To not incur legal liability for the actions of one another, other than under the terms and conditions of this Agreement. Each Party will be solely and entirely responsible for its own acts and the acts of its own Board or Council members, officials, agents, and employees during the performance of this Agreement.

4.3.2 Nothing to the contrary withstanding, the Parties recognize the funds to be used by both Parties pursuant to this Agreement are tax funds. The agreements herein for Funding are based upon actual real estate taxes received by the Mohave County Treasurer in Fiscal Year 2023. Should either Party be unable to provide some or all of the Funding set forth in this Agreement, following notice of same to the other Party, the Parties agree this Agreement automatically will be amended to reflect said change(s) without further action, without any claim of damages by either Party, and without penalty to either Party. The Parties acknowledge that the Agreement is subject to the availability of Funding, and the Parties reserve the right to terminate the Agreement as outlined herein if no Funding is available.

4.3.3 All Project Work is the sole responsibility of the Town, and not that of the District or County. All real property and its appurtenances (the "**Property**") upon which Project Work will occur, is owned or under the control of the Town and not owned or under the control of the District or County.

4.3.4 **Exhibits "D" and "E"** attached hereto are authenticated copies of the Resolutions of the County and Town, authorizing said Parties to enter into this Agreement.

4.3.5 This Agreement contains the written determinations of the attorneys for the Parties that this Agreement is in proper form and within the powers and authority granted to said Parties under the laws of the State of Arizona.

4.3.6 To act for the good faith implementation of this Agreement and its covenants, including full and complete timely performance.

5. **LAWS.** The Parties shall each be fully responsible for compliance with all statutes, ordinances, codes, regulations, rules, court decrees or other laws (hereinafter collectively "**Laws**") applicable to it as part of fully performing the Project with regards to their respective roles. This Agreement shall not relieve either Party of any obligation or responsibility imposed upon it by Laws.

6. **NOTICE.** Any notice that is necessary shall be in writing and given by telefax, personal delivery, by deposit with an overnight express delivery service such as Federal Express, or by deposit in the United States Mail, certified mail-return receipt requested, postage prepaid, addressed to a Party at the address set forth below, or such other address as a Party may designate in writing by prior notice. The date notice is given shall be the date on which the notice is delivered if notice is given by personal delivery or overnight express delivery service, or three (3) days from the date of deposit in the Mail, if the notice is sent through the United States Mail. Notice shall be deemed to have been received on the date on which the notice is delivered, if notice is given by personal delivery or overnight express delivery service, or three (3) days following the date of deposit in the mail, if notice is sent through the United States Mail.

DISTRICT:

Mail or Deliver To:

Tim M. Walsh Jr., P.E.
Flood Control Chief Engineer
Mohave County Flood Control District
P.O. Box 7000
Kingman, Arizona 86402-7000

or

3250 E. Kino Avenue
Kingman, Arizona 86409

Copy To:

Matthew J. Smith, County Attorney
Mohave County Attorney's Office
Attention: Mohave County Development Services
P. O. Box 7000
Kingman, Arizona 86402-7000

or

3250 E. Kino Avenue
Kingman, Arizona 86409

TOWN:

Mail or Deliver To:

Vance Barlow, Town Manager
Town of Colorado City
PO Box 70
Town of Colorado City, AZ 86021

Copy To:

Mangum Wall, Town Attorney
Town of Colorado City
PO Box 10
Flagstaff, AZ 86002

7. **INDEMNIFICATION.** To the fullest extent permitted by law, each Party (as "indemnitor") shall defend, indemnify and hold harmless the other Party (as "indemnitees") its officers, officials, employees, agents, volunteers, successors, and assigns ("Indemnified Group") for claims, damages, losses, liabilities and expenses of any nature whatsoever (including but not limited to reasonable attorneys' fees, court costs, the costs of appellate proceedings, and all claim adjusting and handling expense) relating to, arising out of, resulting from or alleged to have resulted from the indemnitor's acts, errors, mistakes or omissions relating to any action or inaction of this Agreement including but not limited to work, services, acts, errors, mistakes, or omissions in the performance of this Agreement by anyone directly or indirectly employed by or contracting with the indemnitor, or any person for whose acts and liabilities are the obligation of the indemnitor.

8. **OTHER CONDITIONS OR PROVISIONS**

8.1 **Incorporation of Exhibits.** All terms and conditions of the Exhibits not inconsistent herewith shall be and are incorporated herein by reference into this Agreement. The Exhibits to this Agreement are as follows:

- | | |
|--------------------|---|
| Exhibit "A" | Project Description |
| Exhibit "B" | Accounting of Prior Funding and Balance |
| Exhibit "C" | Project Funding |
| Exhibit "D" | District Resolution |
| Exhibit "E" | Town Resolution |

8.2 **Severability.** The terms of this Agreement are severable. Any waiver by the Parties of any provision herein shall not impair the right of any Party to enforce any other provision of the Agreement. Such provision of this Agreement shall be interpreted in a manner as to be effective and valid under applicable Laws. Such provision shall be ineffective solely to the extent of such prohibition of invalidity. Such prohibition or invalidity shall not invalidate the remainder of the provisions or any other provision.

8.3 Voluntary Execution. The Parties acknowledge having read the Agreement in its entirety and voluntarily sign the Agreement with the intended purpose that it be fully binding as set forth.

8.4 Arbitration. In the event of a dispute, the Parties agree to use arbitration only to the extent it is required by A.R.S. § 12-1518 or otherwise required by Arizona Rules of Civil Procedure. The Parties shall agree to fully exhaust administrative remedies before filing litigation.

8.5 Trust and Repose. The Town acknowledges the District places trust and repose in the Town, its council members, officials, officers, employees, and agents. The Town avows and warrants it will faithfully and fully perform under the terms of this Agreement, including obtaining and maintaining or having obtained and maintained any State of Arizona or local licenses or permits through the entire Project in order to perform or have properly, timely and fully performed the services and activities required. Therewith, the Town shall maintain all bonds and insurances required by Laws and herein.

8.6 Record Retention. Records for this Project shall be retained not less than five (5) years from the date of final completion.

8.7 Independent Parties. Each Party acknowledges, understands, and agrees that it undertakes its responsibilities and obligations independent of the other, and that neither Party nor its employees or agents shall be considered an employee of the other under this Agreement or the activities resultant therefrom.

8.8 No Implied Authority. This Agreement shall not be considered to imply authority to perform any tasks, accept any responsibility, or to do any other thing in relation hereto, not expressly set forth herein.

8.9 Equipment or Property. It is not contemplated that any Party to this Agreement will contribute equipment or property in furtherance hereof. To the extent there is a contribution, pursuant to the provisions of A.R.S. § 11-952(B)(4), and in the event of termination of this Agreement, any equipment or property contributed by either Party shall be returned to the respective Party.

IN WITNESS WHEREOF, the Parties have signed this Agreement on the dates set forth below. This Agreement shall be effective as of the date first above written, but without limitation, the District Board approving this Agreement, which the Board may or may not do, in its discretion.

TOWN OF COLORADO CITY, a municipal corporation of the State of Arizona

Date Signed

By _____
Howard Ream, Mayor of Town of Colorado City

MOHAVE COUNTY FLOOD CONTROL DISTRICT,
a political subdivision of the State of Arizona

Date Signed

By _____
Hildy Angius, Chairman of the District

REVIEWED AND RECOMMENDED:

MOHAVE COUNTY FLOOD CONTROL DISTRICT

Date Signed

By _____
Timothy M. Walsh Jr., P.E., Flood Control Chief Engineer

**APPROVED AS TO FORM AND IN
COMPLIANCE WITH A.R.S. § 11-952:**

TOWN OF COLORADO CITY ATTORNEY

Date Signed

By _____
Mangum Wall, Town Attorney

**APPROVED AS TO FORM AND IN
COMPLIANCE WITH A.R.S. § 11-952:**

MOHAVE COUNTY ATTORNEY

Date Signed

By _____
Jason Mitchell, Deputy County Attorney

ATTESTATION OF TOWN APPROVAL

I, Shirley Zitting, Clerk of the Town of Colorado City, Arizona, hereby certify that the Town Council of the Town of Colorado City, Arizona, on the ____ day of _____, 2024, approved on behalf of the Town of Colorado City, an Arizona municipal corporation, for the purposes stated, the foregoing Agreement.

(Seal) _____
Shirley Zitting, Clerk of Town of Colorado City

ATTESTATION OF COUNTY APPROVAL

I, Laura Skubal, Interim Clerk of the Board of Supervisors of Mohave County, a body politic and corporate of the State of Arizona, sitting as the Directors of the Mohave County Flood Control District, a political subdivision of the State of Arizona, hereby certify that said Flood Control District on the ____ day of _____, 2024, approved on behalf of the Flood Control District for the purposes stated, the foregoing Agreement.

(Seal) _____
Laura Skubal, Interim Clerk of the Mohave County Board of Supervisors

**TOWN OF COLORADO CITY
MOHAVE COUNTY FLOOD CONTROL IGA**

EXHIBIT "B"

FY20-21	\$168.49		\$46,479.63	Interest earned CY2020
FY21-22	\$18,776.00		\$65,255.63	Flood Control Allocation July2021
FY21-22	\$32.08		\$65,287.71	intrest earned CY2021
FY22-23	\$21,544.00		\$86,831.71	Flood Control Allocation June 2022
FY22-23	\$1,315.44		\$88,147.15	Interest earned CY2022
FY22-23		(\$10,645.75)	\$77,501.40	Engineering West Johnson Oct 2022
FY22-23		(\$5,131.00)	\$72,370.40	Engineering West Johnson Nov 2022
FY22-23		(\$7,772.00)	\$64,598.40	Engineering West Johnson Jan 2023
FY23-24	\$23,543.00		\$88,141.40	Flood Control Allocation July 2023
FY23-24		(\$7,369.00)	\$80,772.40	Engineering West Johnson Aug 2023
FY23-24		(\$11,214.25)	\$69,558.15	Engineering West Johnson Sept 2023
FY23-24	\$2,940.88		\$72,499.03	interst earned CY2023
FY23-24		(\$72,499.03)	\$0.00	Construciton West Johnson Oct 2023
FY24-25	\$24,548.00		\$24,548.00	Flood Control Allocation June 2024
			\$24,548.00	
			\$24,548.00	
			\$24,548.00	
			\$24,548.00	
			\$24,548.00	

EXHIBIT "C"

TO

INTERGOVERNMENTAL AGREEMENT BETWEEN THE MOHAVE COUNTY FLOOD CONTROL DISTRICT AND THE TOWN OF COLORADO CITY, ARIZONA, FOR FLOOD CONTROL

PROJECT FUNDING PER FLOOD CONTROL RESOLUTION 2024-04

The Funding for the Project and Project Work is described as follows:

The District shall provide Twenty-Four Thousand Five Hundred Forty-Eight Dollars (\$24,548) following the effective date of the Agreement.

Said Funding shall be used as part of the City's share of Project and Project Work described within the Agreement.



April 1, 2024

TOWN OF COLORADO CITY
 PO BOX 70
 COLORADO CITY AZ 86021

To facilitate your transaction with Western Equipment Finance:

- SIGN and DATE each document where indicated.
- Immediately return the **signed documents** along with the following:
 - 1) **Amount due as shown on below itemized invoice.** Make check payable to Western Equipment Finance
 - To process payment electronically, send a copy of your check or see below
The ability to fax or email a copy of your check or bank information is for your convenience. Please be aware that electronic transmissions may not be private or secure.
 - 2) **Proof of Insurance Coverage**
 - Forward the Insurance Requirements page to your insurance agent to properly add Western Equipment Finance Inc. to your policy.
- Return **ALL** of the above items to Western using one of the below methods*:
 - **Email to:** documents@westernequipmentfinance.com
 - **Fax to:** 1-800-215-6799 or 1-701-662-7920
 - **Mail to:** Western Equipment Finance, 503 Hwy 2 West, Devils Lake, ND 58301

*Once we have confirmed receipt of the copy of the documents, please mail the original signed documents to the above address.

ITEMIZED INVOICE

Advance Payments	\$0.00
Sales Tax	\$0.00
FL Document Stamp Tax	\$0.00
TOTAL AMOUNT DUE*	\$ 0.00

***To pay the amount due electronically please complete (optional):**

DEPOSITORY NAME:		Initial Here
TRANSIT/ROUTING NO:		
ACCOUNT NO:		

Documents will be voided if not properly executed and returned within 20 days of the above date.

Thank you for doing business with Western Equipment Finance. If you have any questions, please contact your sales representative.



**TAX-EXEMPT SCHEDULE NO. 40540601
TO
MASTER STATE AND LOCAL GOVERNMENT AGREEMENT**

This Schedule No. 40540601 ("Schedule") between WESTERN EQUIPMENT FINANCE ("Lessor", "us", "we" or "our"), and TOWN OF COLORADO CITY ("Lessee", "you," or "your") is dated as of the date signed below by the Lessee and is issued in connection with the Master State and Local Government Agreement dated as of 08/09/2022 (the "Master Agreement"). Unless otherwise defined, capitalized terms used herein shall have the meanings specified in the Master Agreement.

1. **EQUIPMENT DESCRIPTION:** See Exhibit A Equipment Schedule attached hereto and made a part hereof.
2. **EQUIPMENT ACCEPTANCE AND PRE-FUNDING:** See Exhibit B Equipment Acceptance and Pre-Funding Agreement attached hereto and made part hereof.
3. **BUSINESS ADDRESS:** PO BOX 70 COLORADO CITY AZ 86021.
4. **LEASE TERMS:** See Exhibit C Payment and Amortization Schedule attached hereto and made part hereof. The identified payments on Exhibit C Payment and Amortization Schedule include specified amounts of principal and interest due on a specific date. The scheduled payment dates on the amortization schedule are an estimate based on an expected closing date. The start date and current year totals are subject to change based on the actual closing date.
5. **TITLE:** To the extent permitted by law, title to the Equipment shall pass to You upon acceptance of delivery conditioned upon Your complete and full performance of Your undertakings as provided in this Agreement and also conditional upon full payment by You of the entire number of payments including interest due on this Agreement. Upon Your full performance, we will release Our interest in the Equipment.
6. **EARLY TERMINATION:** Lessee may satisfy balance of remaining payments at any time prior to final payment by tendering the Termination Amount After Making Said Payment on the Exhibit C Payment and Amortization Schedule.
7. **BANK QUALIFICATION:** You warrant this Schedule to Master State and Local Government Agreement as a "bank qualified tax-exempt obligation" as defined in Section 265(b)(3)(B) of the Internal Revenue Code and represent that the aggregate face amount of all tax-exempt obligations (excluding private activity bonds other than qualified 501 (C)(3) bonds) issued or to be issued by You and Your subordinated entities during the calendar year in which We fund this Agreement is not reasonably expected to exceed \$10,000,000; and You and all of Your subordinate entities will not issue in excess of \$10,000,000 of qualified tax-exempt obligations (including this Master Agreement but excluding private activity bonds other than qualified 501 (C) (3) bonds) during the calendar year in which We fund this Master Agreement without first obtaining an opinion of national recognized counsel in the area of tax-exempt municipal obligations acceptable to Us that the designation of this Master Agreement as a "bank qualified tax-exempt obligation" will not be adversely affected. INITIAL HERE *B*
8. **INTERNAL REVENUE FORM 8038-GC OR 8038-G:** You hereby acknowledge it is your responsibility to file the appropriate Internal Revenue Form 8038-GC or 8038-G and provide us with an executed copy prior to commencement of the Agreement. INITIAL HERE *JB*
9. **SMALL ISSUER EXCEPTION:** If You lose Your eligibility for the "Small Issuer Exception" during the calendar year or this transaction is deemed by any taxing authority not to be tax exempt from federal and/or state income taxation, You agree the implicit interest rate and corresponding monthly interest payment will be increased to preserve Our originally anticipated yield.
10. **RELATIONSHIP TO MASTER LEASE AGREEMENT; FURTHER ASSURANCES:** The terms of the Master Agreement are incorporated herein by reference and Lessee hereby reaffirms all terms of the Master Agreement and grants the security interests described therein. If any of the terms of this Schedule are contrary to the terms of the Master Agreement, the terms of this Schedule shall govern. This Schedule, together with the Master Agreement incorporated herein, shall constitute a separate Agreement and Lessee hereby certifies to Lessor that the representations and warranties made by the Lessee in the Master Agreement are true and correct in all material respects as of the date of this Schedule. Lessee will promptly execute or otherwise authenticate and deliver to Lessor such other documentation as Lessor shall request.

IN WITNESS WHEREOF, Lessor and Lessee have caused this Lease to be duly authenticated and delivered on the day and year first written above.

LESSEE: TOWN OF COLORADO CITY

Complete Legal Name of Lessee

Vance Barlow 4-4-2024

Authorized Signature of Lessee Date

Vance Barlow, Town Manager
Printed Name Title

LESSOR: WESTERN EQUIPMENT FINANCE		
By: _____		
Authorized Signature of Lessor	Title	Date
Address: 503 Highway 2 West, Devils Lake, ND 58301		
(Western Equipment Finance, a division of Western State Bank)		

U. S. PATRIOT ACT DISCLOSURE NOTICE: IMPORTANT INFORMATION ABOUT PROCEDURES FOR OPENING A NEW ACCOUNT
To help the government fight the funding of terrorism and money laundering activities, Federal law requires all financial institutions to obtain, verify, and record information that identifies each person who opens an account. What this means for you is that: When you open an account, we will ask for your name, address, date of birth, and other and other information that will allow us to identify you. We may also ask to see your driver's license or other identifying documents.

Customer #40133920 Schedule #40540601



**EXHIBIT A
EQUIPMENT SCHEDULE**

This Equipment Schedule is to be attached to and become part of the Master Agreement and Schedule No. 40540601 dated 4/1/2024 between Western Equipment Finance, (the "Lessor") and the undersigned (the "Lessee").

VENDOR:
SPARTAN TRUCK COMPANY, INC
1441 N VIP BLVD
CASA GRANDE AZ 85122

QTY	SERIAL NO.	COLLATERAL MANUFACTURER, MODEL NO, DESCRIPTION
1		2025 FLC40 PETERBILT 520LCF HERCULES GARBAGE TRUCK INCLUDING: <ul style="list-style-type: none"> • 7 GA. BODY SIDES • BODY ACCESS LADDER • HOPPER SUMP OVERLAY • REMOTE GREASE FITTINGS ON PACKING PANEL • HOPPER FLOODLIGHT • RADIUS CAB SHIELD WITH AIR FLIP UP EXTENSION • FRONT BODY SCREEN ENCLOSURE • (4) PETERSON SMART STROBES ON TAILGATE • RUB-A-FENDER • DUAL 3RD EYE BACKUP CAMERA WITH DUAL FLOOD LIGHTS • SHARK'S TEETH ON PACK PANEL • CONTAINER FLOODLIGHT ON MIRROR BRACKET • TRAPEZOIDAL REVERSE LIGHTS ON BODY SIDES • EXTRA FRONT BODY SPRING MOUNTS • THROTTLE ADVANCE • TWO EXTRA BEARING BLOCKS • PAINT ALL CYLINDERS TO MATCH BODY WHITE • 20# FIRE EXTINGUISHER WITH MOUNTING BRACKET • TELESCOPING SIDE DOOR LADDER • 60 INCH FORKS WITH 6 INCH STOPS • 8,000K ARM CYLINDERS • CAUTION DECAL ON TAILGATE • CLEAN SHIELD CANOPY DECAL

Together with all accessions, additions and attachments thereto and located at: 460 NORTH MAPLE STREET COLORADO CITY AZ 86021.

This Equipment Schedule is hereby verified as correct by the undersigned Lessee, who acknowledges receipt of a copy.

LESSEE: TOWN OF COLORADO CITY
Complete Legal Name of Lessee

Vance Barlow, Town Manager 4-1-2024
 Authorized Signature of Lessee Title Date

Vance Barlow
 Printed Name

A FASCIMILE OF THIS SIGNED DOCUMENT
MAY BE DEEMED THE ORIGINAL COPY BY CREDITOR



EXHIBIT B
SCHEDULE NO. 40540601
TO
MASTER STATE & LOCAL GOVERNMENT AGREEMENT
EQUIPMENT ACCEPTANCE AND PRE-FUNDING AGREEMENT

This Equipment Acceptance and Pre-Funding Agreement ("Pre-Funding Agreement") is entered into between TOWN OF COLORADO CITY ("Lessee") and WESTERN EQUIPMENT FINANCE ("Lessor"), with respect to that certain Schedule to the Master State & Local Government Agreement between Lessee and Lessor, No. 40540601, ("Schedule"). The Schedule, together with the Master State & Local Government Agreement are referred to herein as "Agreement").

Lessee has requested that Lessor advance funds in connection with the Schedule prior to the collateral (the "Collateral") being delivered to Lessee. Lessor would be unwilling to do so but for the agreement of Lessee to start the Agreement, and for Lessee's promise that each and every payment will be made in a timely manner, regardless of any issues with respect to nondelivery, misdelivery, nonperformance or misperformance of the Collateral. Except as specifically addressed herein, all other terms and conditions of the Agreement remain in full force and effect, and all terms hereof are subject to the terms of the Agreement.

1. Lessee has advised Lessor that the supplier (the "Vendor") of the Collateral requires that all or a portion of the purchase price be submitted to Vendor prior to Vendor delivering the Collateral to the location specified in the Schedule. Lessee has requested that Lessor advance funds to Vendor accordingly. Lessee hereby accepts the Collateral unconditionally and for all purposes of the Agreement, and accepts the Collateral "as is - where is". Lessee further waives its right to revoke acceptance of the Collateral, and understands that once it has accepted the Collateral by execution hereof, all of its obligations under the Agreement become absolute, unconditional and noncancellable.
2. In consideration of Lessor's agreement to advance funds as requested above, Lessee agrees to immediately commence payments under the Agreement, even though all of the Collateral may not yet be installed. Lessee agrees that, in order to induce Lessor to make payments as described above, the Agreement will be in full force and effect immediately upon execution of this agreement, as will Lessee's duty to make all payments and to fulfill all other obligations pursuant to the Agreement. Should any item of Collateral not be delivered, Lessee alone shall be responsible and shall have recourse only to the appropriate Vendor. By execution of this Pre-funding Agreement, Lessee unconditionally accepts and acknowledges said Agreement and the Collateral, and agrees the Agreement is in full force and effect and not subject to any defenses or rights of set-off against Lessor. Nondelivery of any item of Collateral shall not relieve Lessee of the obligation of payment in full under the Agreement.
3. In the event that Lessee has any disagreement or complaint with respect to the Collateral, Lessee shall look only to persons other than Lessor or its assigns, and shall not assert against Lessor or its assigns any claim or defense Lessee may have with reference to the Collateral, its installation, delivery, nondelivery or misperformance.
4. This Pre-Funding Agreement is expressly incorporated into the Agreement, and all terms of the Agreement not directly modified by this Pre-Funding Agreement shall remain in full force and effect, fully binding upon the parties hereto.

In the event I am unable to give verbal verification of the delivered equipment and/or acceptance of the Schedule, I hereby authorize _____ (name) _____ (title) to provide this verification in my place. I understand the above noted individual's verification shall be legally binding and I shall abide by his/her decision.

Contact Phone: _____ Cell / other: _____

LESSEE: TOWN OF COLORADO CITY

Complete Legal Name of Lessee

Vance Barlow 4-4-2024
 Authorized Signature of Lessee Date

Vance Barlow Town Manager
 Printed Name Title

**EXHIBIT C
PAYMENT AND AMORTIZATION SCHEDULE**

Payment Structure: **Monthly**

Interest Rate: **6.19%**

The Beginning Balance includes sales tax of **\$33,677.70**.


First payment due 5/5/2024 and monthly thereafter

	Payment Amount	Interest	Principal	Outstanding Balance	Termination Amount After Making Said Payment
Beginning Balance				420,777.70	
1	8,181.87	2,679.58	5,502.29	415,275.41	427,733.67
2	8,181.87	2,142.13	6,039.74	409,235.67	421,512.74
3	8,181.87	2,110.97	6,070.90	403,164.77	415,259.71
4	8,181.87	2,079.66	6,102.21	397,062.56	408,974.44
5	8,181.87	2,048.18	6,133.69	390,928.87	402,656.74
6	8,181.87	2,016.54	6,165.33	384,763.54	396,306.45
7	8,181.87	1,984.74	6,197.13	378,566.41	389,923.40
8	8,181.87	1,952.77	6,229.10	372,337.31	383,507.43
9	8,181.87	1,920.64	6,261.23	366,076.08	377,058.36
10	8,181.87	1,888.34	6,293.53	359,782.55	370,576.03
11	8,181.87	1,855.88	6,325.99	353,456.56	364,060.26
12	8,181.87	1,823.25	6,358.62	347,097.94	357,510.88
13	8,181.87	1,790.45	6,391.42	340,706.52	350,927.72
14	8,181.87	1,757.48	6,424.39	334,282.13	344,310.59
15	8,181.87	1,724.34	6,457.53	327,824.60	337,659.34
16	8,181.87	1,691.03	6,490.84	321,333.76	330,973.77
17	8,181.87	1,657.55	6,524.32	314,809.44	324,253.72
18	8,181.87	1,623.89	6,557.98	308,251.46	317,499.00
19	8,181.87	1,590.06	6,591.81	301,659.65	310,709.44
20	8,181.87	1,556.06	6,625.81	295,033.84	303,884.86
21	8,181.87	1,521.88	6,659.99	288,373.85	297,025.07
22	8,181.87	1,487.53	6,694.34	281,679.51	290,129.90
23	8,181.87	1,453.00	6,728.87	274,950.64	283,199.16
24	8,181.87	1,418.29	6,763.58	268,187.06	276,232.67
25	8,181.87	1,383.40	6,798.47	261,388.59	269,230.25
26	8,181.87	1,348.33	6,833.54	254,555.05	262,191.70
27	8,181.87	1,313.08	6,868.79	247,686.26	255,116.85
28	8,181.87	1,277.65	6,904.22	240,782.04	248,005.50

29	8,181.87	1,242.03	6,939.84	233,842.20	240,857.47
30	8,181.87	1,206.24	6,975.63	226,866.57	233,672.57
31	8,181.87	1,170.25	7,011.62	219,854.95	226,450.60
32	8,181.87	1,134.09	7,047.78	212,807.17	219,191.39
33	8,181.87	1,097.73	7,084.14	205,723.03	211,894.72
34	8,181.87	1,061.19	7,120.68	198,602.35	204,560.42
35	8,181.87	1,024.46	7,157.41	191,444.94	197,188.29
36	8,181.87	987.54	7,194.33	184,250.61	189,778.13
37	8,181.87	950.43	7,231.44	177,019.17	182,329.75
38	8,181.87	913.12	7,268.75	169,750.42	174,842.93
39	8,181.87	875.63	7,306.24	162,444.18	167,317.51
40	8,181.87	837.94	7,343.93	155,100.25	159,753.26
41	8,181.87	800.06	7,381.81	147,718.44	152,149.99
42	8,181.87	761.98	7,419.89	140,298.55	144,507.51
43	8,181.87	723.71	7,458.16	132,840.39	136,825.60
44	8,181.87	685.24	7,496.63	125,343.76	129,104.07
45	8,181.87	646.56	7,535.31	117,808.45	121,342.70
46	8,181.87	607.7	7,574.17	110,234.28	113,541.31
47	8,181.87	568.63	7,613.24	102,621.04	105,699.67
48	8,181.87	529.35	7,652.52	94,968.52	97,817.58
49	8,181.87	489.88	7,691.99	87,276.53	89,894.83
50	8,181.87	450.2	7,731.67	79,544.86	81,931.21
51	8,181.87	410.32	7,771.55	71,773.31	73,926.51
52	8,181.87	370.23	7,811.64	63,961.67	65,880.52
53	8,181.87	329.94	7,851.93	56,109.74	57,793.03
54	8,181.87	289.43	7,892.44	48,217.30	49,663.82
55	8,181.87	248.72	7,933.15	40,284.15	41,492.67
56	8,181.87	207.8	7,974.07	32,310.08	33,279.38
57	8,181.87	166.67	8,015.20	24,294.88	25,023.73
58	8,181.87	125.32	8,056.55	16,238.33	16,725.48
59	8,181.87	83.76	8,098.11	8,140.22	8,384.43
60	8,181.87	41.65	8,140.22	0	0.00
Grand Totals	490,912.20	70,134.50	420,777.70		

LESSEE: TOWN OF COLORADO CITY

Complete Legal Name of Lessee


4-4-2024

 Authorized Signature of Lessee Date
 Vance Barlow, Town Manager
 Printed Name Title

TITLED EQUIPMENT INFORMATION

Purchaser Name: TOWN OF COLORADO CITY

40540601

Please complete to the best of your ability. Complete information will help us put together the title package as quickly as possible, so you can register your vehicle or trailer.

1. How is Tax, Title & License being handled? (select one option)

- Vendor is completing title transfer (if selected, skip #3 thru #7)
- Western is financing sales tax and preparing title paperwork which will be sent to you
- Customer is paying sales tax, title and license fees; Western is preparing title paperwork which will be sent to you

***Note: Additional fees charged by the DMV are purchaser's responsibility**

2. Physical Equipment Address: 460 NORTH MAPLE STREET COLORADO CITY AZ 86021

If above address is incorrect, enter correct equipment address:

3. Equipment being purchased:

DESCRIPTION	VIN #	WEIGHT TO BE REGISTERED (if applicable)
2025 FLC40 PETERBILT 520LCF HERCULES GARBAGE TRUCK	3BPDLK0X9SF695742; V216057	

4. What State will equipment be titled in? *Arizona*

5. What County will equipment be titled in? *Mohave*

6. Motor Vehicle Department name to make Tax, Title & License check payable to: *Arizona DMV*

7. Where should Western Mail Title Packet to (to be taken to the DMV)?

(Select one option - Mailed via USPS with Signature Confirmation)

Billing Address
PO BOX 70
COLORADO CITY AZ 86021

Equipment Location Address
460 NORTH MAPLE STREET
COLORADO CITY AZ 86021.

Other
Name: _____
Address: _____

****IF ORIGINAL TITLE IS NOT RECEIVED LISTING WESTERN EQUIPMENT FINANCE AS LIEN HOLDER, YOU WILL BE IN DEFAULT OF YOUR CONTRACT**

Vance Borden _____ *4-4-2024*

Authorized Signature of Debtor

Date

Vance Borden, *Town Manager*

Printed Name

Title



Spartan Truck Company
 1441 N VIP Blvd
 Casa Grande, AZ 85122

www.spartantruck.com

Invoice

Date	Invoice #
3/26/2024	1446

Bill To
Vance Barlow PO Box 70 25 South Central St. Colorado City, AZ 86021

Ship To
Pickup By Customer at Spartan Truck Casa Grande 1441 N. VIP Blvd. Casa Grande, AZ 85122

Customer Phone	Customer E-mail	S.O. No.	P.O. No.	Terms	Due Date	Rep
	johnb@tocc.us;heike@s...	5073	4015	COD	3/26/2024	JD

Item	Sales Description	QTY	U/M	Rate	Amount
HERCULES FL 40 ...	HERCULES FRONTLOADER 40 YD Includes: 2025 Peterbilt 520 Chassis 7 Ga. Body Sides Body Access Ladder Hopper Sump Overlay Remote Grease Fittings on Packing Panel Hopper Floodlight Radius Cab Shield with Air Flip Up Extension Front Body Screen Enclosure (4) Peterson Smart Strokes on Tailgate Rub-A-Fender Dual 3rd Eye Backup Camera with Dual Flood Lights Shark's Teeth on Pack Panel Container Floodlight on Mirror Bracket Trapezoidal Reverse Lights on Body Sides Extra Front Body Spring Mounts Throttle Advance Two Extra Bearing Blocks Paint All Cylinders to Match Body White 20# Fire Extinguisher with Mounting Bracket Telescoping Side Door Ladder 60 Inch Forks with 6 Inch Stops	1	ea	387,100.00	387,100.00T

Signature _____ Date _____

Phone #
818-899-1111

E-mail
heike@spartantruck.com



Spartan Truck Company
 1441 N VIP Blvd
 Casa Grande, AZ 85122

www.spartantruck.com

Invoice

Date	Invoice #
3/26/2024	1446

Bill To
Vance Barlow PO Box 70 25 South Central St. Colorado City, AZ 86021

Ship To
Pickup By Customer at Spartan Truck Casa Grande 1441 N. VIP Blvd. Casa Grande, AZ 85122

Customer Phone	Customer E-mail	S.O. No.	P.O. No.	Terms	Due Date	Rep
	johnb@tocc.us;heike@s...	5073	4015	COD	3/26/2024	JD

Item	Sales Description	QTY	U/M	Rate	Amount
	8,000k Arm Cylinders				
	Caution Decal on Tailgate				
	Clean Shield Canopy Decal				
	Standard 1 Year Warranty (12 month warranty on body and cylinders)				

Signature _____ Date _____	Subtotal	\$387,100.00
<p>CUSTOMER AGREES TO READ THIS ENTIRE AGREEMENT, TERMS AND CONDITIONS AND AGREES TO BE BOUND BY THE FOLLOWING TERMS: Please read important information onback and/or attached. Customer agrees to indemnify and hold harmless Spartan Truck Company , its agents, representatives, employees and officers against all claims. This agreement shall be binding upon the parties, their transferees, succssors and assigns, including a new or different owner and/or change int title ownership of the vehicle until completion of the contract. This Agreement and terms and conditions sets forth the entire terms of this agreement. This agreement may not be altered orally and may only be altered by an agreement in writing signed by both parties orior to the start of work.</p>	Sales Tax (8.7%)	\$33,677.70
	Total	\$420,777.70
	Payments/Credits	\$0.00
	Balance Due	\$420,777.70

Phone #
818-899-1111

E-mail
heike@spartantruck.com

SELLER/DEALER:

MOTOR VEHICLE CONTRACT OF SALE

04/05/24

TOWN OF COLORADO CITY

DATE OF SALE:

Murray Motors, Inc.
157 South 200 East • P.O. Box 1488
Roosevelt, Utah 84066
435-722-5107

25 S CENTRAL PURCHASER'S NAME
COLORADO CITY, AZ 85021 ADDRESS
CITY N/A COUNTY (928) 875-2646 ZIP CODE
RES. PHONE BUS. PHONE

Purchaser and Co-Purchaser(s), if any, (hereafter referred to as "Purchaser") hereby agree to purchase the following vehicle from Seller/Dealer (hereafter referred to as "Seller"), subject to all terms, conditions, warranties and agreements contained herein, including those printed on the reverse side hereof.

NEW USED DEMO YEAR MAKE MODEL SERIES BODY TYPE CYL COLOR
16 TUUBED3RZ268949 ODOMETER 5 STOCK NO 202469 DEL. DATE 04/05/24 SALES PERSON CALVIN MURRAY

Table with columns for item number, description, and amount. Includes rows for cash price, accessories, MFR. rebate, and subtotal.

THIS SECTION FOR SELLER'S USE ONLY PERTAINING TO TRADE-IN
Title (if not, explain):
REGISTRATION OF ATTORNEY ODOMETER STATEMENT TRADE-IN APPRAISAL AUTHORIZATION FOR PAYOFF MANUFACTURED OUT OF COUNTRY

TRADE-IN AND/OR OTHER CREDITS
YEAR/MAKE ODOMETER
SERIES BODY TYPE
V.I.N.
*BALANCE OWED ON TRADE-IN: N/A
ADDRESS:
PAYOFF VERIFIED BY: GOOD UNTL:
DATE OF VERIFICATION ACC#:

NOTICE ONLY TO BUYERS OF USED VEHICLES
The information you see on the window form [Buyer's Guide] for this vehicle is part of this contract. Information on the window form overrides any contrary provisions in the contract of sale.
I HAVE RECEIVED A COPY OF THE FTC BUYERS GUIDE.
X

*WARRANTY AS TO BALANCE OWED ON TRADED-IN VEHICLE:
Purchaser warrants that he/she has given Seller a true pay-off amount on any vehicle traded in, and that if it is not correct and is greater than the amount shown above, Purchaser will pay the excess to Seller on demand.
10. TRADE-IN ALLOWANCE N/A
11. BALANCE OWED ON TRADE-IN* N/A
12. NET ALLOWANCE ON TRADE-IN (line 10 minus line 11) N/A
13. DEPOSIT/CASH DOWN PAYMENT (omit amt. line 8) N/A
14. TOTAL CREDITS (total lines 12 & 13) N/A
15. SUBTOTAL FROM LINE 9 \$6,200.00
16. SERVICE CONTRACT N/A
17. DEALER DOCUMENTARY SERVICE FEE N/A
18. N/A
19. SUBTOTAL-TAXABLE ITEMS (total lines 15-18) \$6,200.00
20. TRADE ALLOWANCE** (line 10) N/A ** If lease, no tax credit
21. NET TAXABLE AMOUNT (line 19 minus line 20) \$56,200.00
22. UTAH SALES/USE TAX ON "TAXABLE AMOUNT" N/A
23. UTAH LICENSE AND REGISTRATION FEES N/A
24. UTAH AGE BASED/PROPERTY ASSESSMENT FEES N/A
25. UTAH EMISSIONS TEST FEE N/A
26. UTAH WASTE TIRE RECYCLING FEE N/A
27. N/A
28. N/A
29. TOTAL OF ALL ITEMS ABOVE (lines 19, 22-28) \$6,200.00
30. TOTAL CREDITS (line 14) N/A
31. BALANCE DUE (total line 29 minus 30) \$56,200.00
DAY 5 MONTH 4 YEAR 24

FINANCING DISCLOSURE
INSTRUCTION: One of the two following disclosures, either "A" or "B", must be acknowledged, if Purchaser agrees to be responsible for financing, or if this is a cash-only or cash-plus-trade-in only transaction, the Purchaser must sign disclosure "A". If Seller agrees to arrange for financing, then both Seller and Purchaser must sign disclosure "B". BY SIGNING, PURCHASER AFFIRMS THAT HE/SHE HAS READ THE DISCLOSURE AND AGREES THERETO. IF SIGNING DISCLOSURE "B", DO NOT SIGN UNTIL ALL BLANKS HAVE BEEN FILLED IN. PURCHASER ACKNOWLEDGES THAT THE TERMS SET FORTH BELOW ("A") AND ("B") ARE MANDATED BY STATE LAW AND ARE NOT TO BE CONSTRUED AS CONTRACTUAL TERMS BETWEEN SELLER AND PURCHASER.

PURCHASER AGREES TO ARRANGE FINANCING
("A") THE PURCHASER OF THE MOTOR VEHICLE DESCRIBED IN THIS CONTRACT ACKNOWLEDGES THAT THE SELLER OF THE MOTOR VEHICLE HAS MADE NO PROMISES, WARRANTIES, OR REPRESENTATIONS REGARDING SELLER'S ABILITY TO OBTAIN FINANCING FOR THE PURCHASE OF THE MOTOR VEHICLE. FURTHERMORE, PURCHASER UNDERSTANDS THAT IF FINANCING IS NECESSARY IN ORDER FOR THE PURCHASER TO COMPLETE THE PAYMENT TERMS OF THIS CONTRACT ALL THE FINANCING ARRANGEMENTS ARE THE SOLE RESPONSIBILITY OF THE PURCHASER.
SIGNATURE OF PURCHASER

SELLER AGREES TO SEEK ARRANGEMENTS FOR FINANCING
("B") (1) THE PURCHASER OF THE MOTOR VEHICLE DESCRIBED IN THIS CONTRACT HAS EXECUTED THE CONTRACT IN RELIANCE UPON THE SELLER'S REPRESENTATION THAT SELLER CAN PROVIDE FINANCING ARRANGEMENTS FOR THE PURCHASE OF THE MOTOR VEHICLE. THE PRIMARY TERMS OF THE FINANCING ARE AS FOLLOWS:
INTEREST RATE BETWEEN 0.00% AND 0.00% PER ANNUM, TERM BETWEEN MONTHS AND MONTHS. MONTHLY PAYMENTS BETWEEN \$56,200.00 PER MONTH AND \$56,200.00 PER MONTH BASED ON A DOWN PAYMENT OF \$ N/A
(2) (a) IF SELLER IS NOT ABLE TO ARRANGE FINANCING WITHIN THE TERMS DISCLOSED, THEN SELLER MUST, WITHIN SEVEN CALENDAR DAYS OF THE DATE OF SALE MAIL NOTICE TO THE PURCHASER THAT HE HAS NOT BEEN ABLE TO ARRANGE FINANCING.
(b) PURCHASER THEN HAS 14 DAYS FROM THE DATE OF SALE TO ELECT, IF PURCHASER CHOOSES, TO RESCIND THE CONTRACT OF SALE PURSUANT TO UTAH CODE ANN. SECTION 41-3-401.
(c) IN ORDER TO RESCIND THE CONTRACT OF SALE, THE PURCHASER SHALL:
(i) RETURN TO SELLER THE MOTOR VEHICLE HE PURCHASED;
(ii) PAY THE SELLER AN AMOUNT EQUAL TO THE CURRENT STANDARD MILEAGE RATE FOR THE COST OF OPERATING A MOTOR VEHICLE ESTABLISHED BY THE FEDERAL INTERNAL REVENUE SERVICE FOR EACH MILE THE MOTOR VEHICLE HAS BEEN DRIVEN; AND
(iii) COMPENSATE SELLER FOR ANY PHYSICAL DAMAGE TO THE MOTOR VEHICLE.
(3) IN RETURN, SELLER SHALL GIVE BACK TO THE PURCHASER ALL PAYMENTS OR OTHER CONSIDERATION PAID BY THE PURCHASER INCLUDING ANY DOWN PAYMENT AND ANY MOTOR VEHICLE TRADED IN.
(4) IF THE TRADE-IN HAS BEEN SOLD OR OTHERWISE DISPOSED OF BEFORE THE PURCHASER RESCINDS THE TRANSACTION, THEN THE SELLER SHALL RETURN TO THE PURCHASER A SUM EQUIVALENT TO THE ALLOWANCE TOWARD THE PURCHASE PRICE GIVEN BY THE SELLER FOR THE TRADE-IN, AS NOTED IN THE DOCUMENT OF SALE.
(5) IF PURCHASER DOES NOT ELECT TO RESCIND THE CONTRACT OF SALE AS PROVIDED IN SUBSECTION (2)(b) OF THIS FORM:
(a) THE PURCHASER IS RESPONSIBLE FOR ADHERENCE TO THE TERMS AND CONDITIONS OF THE CONTRACT OR RISKS BEING FOUND IN DEFAULT OF THE TERMS AND CONDITIONS.
(b) IF THE TERMS AND CONDITIONS OF THE DISCLOSURES SET FORTH IN SECTION (1) OF THIS FORM ARE NOT BINDING ON THE SELLER; AND
(c) IF FINANCING IS NECESSARY FOR THE PURCHASER TO COMPLETE THE PAYMENT TERMS OF THE CONTRACT OF SALE, THE PURCHASER IS SOLELY RESPONSIBLE FOR MAKING ALL THE FINANCING ARRANGEMENTS.
(6) SIGNING THIS DISCLOSURE DOES NOT PROHIBIT THE PURCHASER FROM SEEKING HIS OWN FINANCING.
SIGNATURE OF PURCHASER
SIGNATURE OF SELLER

OTHER TERMS AGREED TO: NONE [] AS FOLLOWS []
Insurance company. Policy # N/A

Purchaser has arranged insurance on vehicle through Insurance company. Policy # N/A
SELLER MAKES NO WARRANTY, EXPRESS OR IMPLIED, WITH RESPECT TO THE MERCHANTABILITY, FITNESS FOR PARTICULAR PURPOSE, OR OTHERWISE CONCERNING THE VEHICLE, PARTS OR ACCESSORIES DESCRIBED HEREIN, UNLESS OTHERWISE INDICATED BY SELLER IN WRITING, ANY WARRANTY IS LIMITED TO THE MANUFACTURER'S WARRANTY, IF ANY, AS EXPLAINED AND CONDITIONED BY PARAGRAPH 4 ON THE REVERSE SIDE HEREOF.

This Contract includes all of the terms, conditions, restrictions, limitations and other provisions on both the face and the reverse side hereof. This contract cancels and supersedes any prior contract and as of the date hereof comprises the complete and exclusive statement of the terms of the Contract relating to the subject matters covered hereby. PURCHASER BY HIS EXECUTION OF THIS CONTRACT ACKNOWLEDGES THAT HE HAS READ ITS TERMS, CONDITIONS AND WARRANTIES BOTH ON THE FACE AND THE REVERSE SIDE HEREOF AND HAS RECEIVED A TRUE COPY OF THIS CONTRACT, AND FURTHER AGREES TO PAY THE "BALANCE DUE" AS SET FORTH ABOVE ON OR BEFORE THE DATE SPECIFIED. IF NO DATE IS SPECIFIED, THEN THE BALANCE IS DUE AS OF THE DATE OF THIS CONTRACT. THIS CONTRACT IS NOT A RECEIPT OF PAYMENT. NO RETURNS, REFUNDS OR EXCHANGES ARE PERMISSIBLE EXCEPT AS NOTED ABOVE.

SIGNATURE OF PURCHASER DATE 04/05/24 VEHICLE TO BE TITLED IN NAME OF
SIGNATURE OF CO-PURCHASER DATE 04/05/24 SIGNATURE OF SELLER DATE 04/05/24
APPROVED UADA FORM 1088 REV. 2015 © TO REORDER CALL 801-484-8845 OR 1-800-594-8920 169



Order Details - Order #DFQKBM



Customer Dealer

BAC Information

Contact Name
Contact Phone

DAN Stock No.

Model/Order Information

Model Year	2024
Division	GMC
Distribution Entity	RET Retail
Order Type	TRE - Retail Stock
Allocation Group	LDSIER
Model	TK10543 - 1500 Sierra: Crew Cab Short Box, 4WD
TPW	2/12/24
VIN	1GTUUBED3RZ268949
MSRP w/DFC	\$63,080.00

Field Actions

Field Action Indicator	Field Action Link
	
Number of Recalls	0
Number of Bulletins	0

No data found.


Total Records: 0


10 


Vehicle Specifications

PEG	3SA - SLE
Color	GXD - Sterling Metallic
Trim	H0U - 3SA/3SB/3VL/1SA-Cloth, Jet Black, Interior Trim
Engine	L84 - Engine: 5.3L, EcoTec3 V-8, DI, Dynamic Fuel Mgt, V T
Transmission	MHT - 10-Speed Automatic
Emissions	FE9 - Federal Emissions

Ordered Options

3SA - SLE 

AZX - Power Seat Adjuster (Driver's Side) 

A48 - Rear Window, Power Sliding with Defogger 



PDI - GMC Pro Safety


PDQ - Preferred Package for SLE or Elevation


PDU - SLE Value Package

PED - Safety Plus Package

PRF - 3 Years of Onstar Remote Access

PZ8 - Hitch Guidance with Hitch View and Image Adjustment

QK1 - Standard Tailgate 


QT5 - Tailgate Function--Manual w/ Assist, Pwr Release 


R6Y - OPD / Focused Ordering Configuration Not Desired

TQ5 - Headlamps, IntelliBeam


TRG - Trailer Camera Provisions

U2K - SiriusXM Satellite Radio (subscription)


UBI - 2-USBs, Second Row Charge/Data Ports 


UD5 - Parking Assist, Front & Rear Sensors 


UDV - Driver Information Center, 12" diagonal multi-color

UE1 - OnStar Communication System 

UE4 - Following Distance Indicator

UEU - Sensor, Forward Collision Alert 


UF2 - Lighting, Cargo Box, LED 


UHN - Wheels: 18" 6-Spoke Machined w/ DK Grey Accents, Alum. 


UHX - Lane Keep Assist/Departure Warning


UHY - Automatic Emergency Braking


UKK - Sensor, Pedestrian Detection


UKV - Trailer Side Blind Zone Alert 


UV2 - Surround Vision, HD 

V46 - Bumper, Front, Chrome 

V76 - Recovery Hooks 


VJH - Bumper, Rear, Chrome Step 


VK3 - Front License Plate Mounting Provisions 


X31 - Off-Road Package 

XCK - Tires: 265/65 R18 All Terrain, Blackwall


XCQ - Tire, Spare: 265/70 R17 All Season, Blackwall


Z82 - Trailering Package 


AKO - Deep Tinted Glass 

AU3 - Power Door Locks 

AV0 - Airbags-frontal, front seat side-impact and roof-rail


AZ3 - Seats: Front 40/20/40 Split-Bench, Full Feature 

BJJ - Liner, Rear Wheelhouse 


B30 - Floor Covering: Carpet, Color Keyed 


B59 - Remote Start Package


BTV - Remote Vehicle Starter System

C49 - Defogger, Rear Window Electric 

CSY - GVW Rating 7100 Lbs

CGN - Bed Liner, Spray-on, Black Textured Polyurea 

CJ2 - Climate Control, Electronic - Dual-zone 


DLF - Mirrors, O/S: Power, Heated 


E53 - Body: Pick-Up Bed

FE9 - Federal Emissions


G80 - Auto Locking Differential, Rear

GU5 - Rear Axle: 3.23 Ratio


GXD - Sterling Metallic 

H0U - 3SA/3SB/3VL/1SA-cloth, Jet Black, Interior Trim 

10K - Premium GMC Infotainment system

JL1 - Integrated Trailer Brake Controller 


K47 - Heavy Duty Air Filter


KI3 - Heated Steering Wheel 


KI4 - 120 Volt Electrical Receptacle, In Cab


KSG - Adaptive Cruise Control


KW7 - Alternator, 170 AMP


LB4 - Engine: 5.3L, EcoTec3 V-8, DI, Dynamic Fuel Mgt, V T 

MHT - 10-Speed Automatic 

N10 - Dual Exhaust System 

N37 - Steering Column, Manual Tilt & Telescoping 

NQH - Transfer Case: Active, 2-Speed, Autotrac, Rotary Dial 

NZZ - Skid Plates 

PCQ - SLE Convenience Package

RESOLUTION NO. 2024-12

**A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF
COLORADO CITY, ADOPTING ORGANIZATIONAL VISION, MISSION,
AND VALUES STATEMENTS**

WHEREAS, the Town of Colorado City recently conducted a General Plan update which included a visioning process, and

WHEREAS, the need for formal adoption of organizational values became apparent through the General Plan visioning process, and

WHEREAS, the vision statements in the General Plan have been used as the basis for the Town of Colorado City organizational values, and

WHEREAS, vision, mission and values statements help guide and unite our organization and helps achieve improvement in the provision of services and guiding growth that support our citizen's quality of life.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE TOWN OF COLORADO CITY AS FOLLOWS:

The Town of Colorado City Organizational Values are hereby adopted and set forth below:

Town Tagline

Colorado City, our Hometown.

Vision Statement

Promoting harmonious development, good order, peace, safety, and happiness.

Mission Statement

Colorado City upholds ~~Short Creek's pioneer~~ ethical and cultural values that improve a quality family-friendly atmosphere and promote a safe and ~~morally~~ healthy environment, where residents can enjoy peace and happiness.

Values or Guiding Principles (in alphabetical order)

Customer Service, ~~Equity~~ Equality, Family, Friendly, Happiness, Healthy, Honesty, Heritage, Moral Standards, Peace, ~~Prosperity, Pleasant~~, Respect, and Safe Environment, ~~Truth~~

PASSED AND ADOPTED by the Mayor and Council of the Town of Colorado City, this ~~2nd~~ 15th day of April, 2024.

Mayor

ATTEST:

Town Clerk

RESOLUTION NO. 2024-12

**A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF
COLORADO CITY, ADOPTING ORGANIZATIONAL VISION, MISSION,
AND VALUES STATEMENTS**

WHEREAS, the Town of Colorado City recently conducted a General Plan update which included a visioning process, and

WHEREAS, the need for formal adoption of organizational values became apparent through the General Plan visioning process, and

WHEREAS, the vision statements in the General Plan have been used as the basis for the Town of Colorado City organizational values, and

WHEREAS, vision, mission and values statements help guide and unite our organization and helps achieve improvement in the provision of services and guiding growth that support our citizen's quality of life.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE TOWN OF COLORADO CITY AS FOLLOWS:

The Town of Colorado City Organizational Values are hereby adopted and set forth below:

Town Tagline

Colorado City, our Hometown.

Vision Statement

Promoting harmonious development, good order, peace, safety, and happiness.

Mission Statement

Colorado City upholds ethical and cultural values that improve a quality family-friendly atmosphere and promote a safe and healthy environment, where residents can enjoy peace and happiness.

Values or Guiding Principles (in alphabetical order)

Customer Service, Equality, Family, Friendly, Happiness, Health, Honesty, Heritage, Moral Standards, Peace, Prosperity, Respect, and Safe Environment

PASSED AND ADOPTED by the Mayor and Council of the Town of Colorado City, this 15th day of April 2024.

Mayor

ATTEST:

Town Clerk

RESOLUTION NO. 2024-12

A RESOLUTION OF THE MAYOR AND COUNCIL OF THE TOWN OF COLORADO CITY, ARIZONA ADOPTING A TOWN FLAG DESIGN.

WHEREAS, The Town of Colorado City does not have a city flag to effectively represent the values and spirit of our community; and

WHEREAS, a well-designed flag can instill pride, unity, and identity among our residents; and

WHEREAS, the Mayor and Council desires a town flag, and insomuch as this design that was most favored by the Council during the Work Season held on March 14, 2024 (option #2 below).

NOW THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE TOWN OF COLORADO CITY, ARIZONA, as follows:

The Town of Colorado City adopts the new flag design that effectively represents the unique beauty and heritage of our town.



This resolution supersedes any previous flag regulations for the Town of Colorado City.

PASSED AND ADOPTED by the Mayor and Council of the Town of Colorado City, Arizona the 15th day of April 2024.

Mayor

ATTEST:

Town Clerk

DRAFT

TOWN OF COLORADO CITY
REVENUES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>TAXES</u>					
10-31-100 STATE SALES TAX	32,132.11	293,490.29	379,358.00	85,867.71	77.4
10-31-200 LOCAL SALES TAX	250,656.08	1,663,506.06	2,000,000.00	336,493.94	83.2
10-31-300 VEHICLE LICENSES TAXES	20,047.25	160,014.07	222,193.00	62,178.93	72.0
TOTAL TAXES	302,835.44	2,117,010.42	2,601,551.00	484,540.58	81.4
<u>LICENSES AND PERMITS</u>					
10-32-100 BUSINESS LICENSES	168.00	2,308.53	3,000.00	691.47	77.0
10-32-200 BUILDING PERMITS	6,445.75	65,125.14	150,000.00	84,874.86	43.4
10-32-300 DOG LICENSES	90.00	590.00	800.00	210.00	73.8
10-32-400 STR PERMITS	.00	.00	3,000.00	3,000.00	.0
TOTAL LICENSES AND PERMITS	6,703.75	68,023.67	156,800.00	88,776.33	43.4
<u>INTERGOVERNMENTAL REVENUE</u>					
10-33-400 URS (VOTER APPROVED LOCAL REV	56,310.70	506,796.30	675,779.00	168,982.70	75.0
10-33-500 HILDALE POLICE IGA	34,338.83	354,994.73	412,066.00	57,071.27	86.2
10-33-550 HILDALE DISPATCH IGA	9,514.00	135,149.00	114,171.00	(20,978.00)	118.4
10-33-555 SCHOOL DISTRICT IGA	.00	.00	5,000.00	5,000.00	.0
10-33-700 FIRE DISTRICT IGA	.00	66,311.00	158,969.00	92,658.00	41.7
TOTAL INTERGOVERNMENTAL REVENUE	100,163.53	1,063,251.03	1,365,985.00	302,733.97	77.8
<u>CHARGES FOR SERVICES</u>					
10-34-100 CHARGES FOR SERVICES	6,167.44	63,148.82	60,000.00	(3,148.82)	105.3
10-34-200 LEASE REVENUE	6,697.62	43,030.61	65,000.00	21,969.39	66.2
TOTAL CHARGES FOR SERVICES	12,865.06	106,179.43	125,000.00	18,820.57	84.9
<u>FINES AND FORFEITURES</u>					
10-35-100 FINES AND FORFEITURES	3,125.24	34,904.38	30,000.00	(4,904.38)	116.4
10-35-200 LOCAL COURT ENHANCEMENT FUND	212.65	2,441.40	2,000.00	(441.40)	122.1
TOTAL FINES AND FORFEITURES	3,337.89	37,345.78	32,000.00	(5,345.78)	116.7

TOWN OF COLORADO CITY
REVENUES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>SUNDRY REVENUES</u>					
10-38-100 INTEREST	.00	40,477.45	35,000.00	(5,477.45)	115.7
10-38-400 INSURANCE FROM ISF	3,372.73	33,056.87	64,000.00	30,943.13	51.7
10-38-450 RMF FROM ENTERPRISE FUNDS	807.77	7,959.31	21,425.00	13,465.69	37.2
10-38-455 TUITION REIMBURSEMENT FUND	323.11	3,974.32	.00	(3,974.32)	.0
10-38-600 COIRC FROM ENTERPRISE FUNDS	2,681.43	34,574.19	29,788.00	(4,786.19)	116.1
10-38-900 MISCELLANEOUS	.00	8,953.15	50,000.00	41,046.85	17.9
TOTAL SUNDRY REVENUES	7,185.04	128,995.29	200,213.00	71,217.71	64.4
<u>CONTRIBUTIONS AND TRANSFERS</u>					
10-39-100 CONTRIBUTIONS	4.00	1,884.40	5,000.00	3,115.60	37.7
TOTAL CONTRIBUTIONS AND TRANSFERS	4.00	1,884.40	5,000.00	3,115.60	37.7
TOTAL FUND REVENUE	433,094.71	3,522,690.02	4,486,549.00	963,858.98	78.5

TOWN OF COLORADO CITY
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ADMINISTRATIVE</u>					
10-43-110 SALARIES AND WAGES	30,117.71	289,613.08	403,439.00	113,825.92	71.8
10-43-130 EMPLOYEE BENEFITS	7,198.13	72,613.63	100,179.00	27,565.37	72.5
10-43-210 LEGAL	.00	10,528.00	25,000.00	14,472.00	42.1
10-43-215 PROFESSIONAL SERVICES	7,356.21	81,990.76	70,000.00	(11,990.76)	117.1
10-43-240 SUPPLIES	328.06	17,116.25	16,007.00	(1,109.25)	106.9
10-43-310 LICENSES AND MISC FEES	4,620.61	35,757.40	50,000.00	14,242.60	71.5
10-43-330 PRINTING AND POSTAGE	214.10	7,178.06	5,000.00	(2,178.06)	143.6
10-43-350 INSURANCE	.00	119,053.30	90,000.00	(29,053.30)	132.3
10-43-355 RISK MANAGEMENT FUND	1,275.75	11,229.67	15,309.00	4,079.33	73.4
10-43-360 TUITION REIMBURSEMENT FUND	516.67	3,100.02	6,200.00	3,099.98	50.0
10-43-400 TRAVEL AND TRAINING	988.80	18,981.83	30,000.00	11,018.17	63.3
10-43-450 INTEREST COSTS	.00	.00	200.00	200.00	.0
10-43-480 USE TAXES	.00	6,453.54	7,000.00	546.46	92.2
10-43-500 VEHICLE/EQUIP RENTAL & LEASE	.00	.00	12,500.00	12,500.00	.0
10-43-520 FUEL AND OIL	628.74	4,839.92	6,000.00	1,160.08	80.7
10-43-530 UTILITIES	532.77	13,878.06	27,147.00	13,268.94	51.1
10-43-550 TELEPHONE	1,072.20	12,632.15	15,000.00	2,367.85	84.2
10-43-570 COMMUNITY ENGAGEMENT	25.00	12,935.51	30,000.00	17,064.49	43.1
10-43-600 EQUIPMENT REPAIR AND MAINT	101.97	6,521.15	8,000.00	1,478.85	81.5
10-43-640 BUILDING & GROUNDS MAINTENANCE	88.45	20,123.22	10,000.00	(10,123.22)	201.2
10-43-740 EQUIPMENT PURCHASES	85.99	17,342.92	10,000.00	(7,342.92)	173.4
TOTAL ADMINISTRATIVE	55,151.16	761,888.47	936,981.00	175,092.53	81.3
<u>BUILDING DEPARTMENT</u>					
10-51-110 SALARIES AND WAGES	5,670.22	53,420.80	105,115.00	51,694.20	50.8
10-51-130 EMPLOYEE BENEFITS	1,151.58	12,868.85	25,726.00	12,857.15	50.0
10-51-215 PROFESSIONAL SERVICES	.00	5,413.05	15,000.00	9,586.95	36.1
10-51-240 SUPPLIES	85.72	3,253.45	500.00	(2,753.45)	650.7
10-51-310 LICENSES & MISC. FEES	.00	3,690.29	2,500.00	(1,190.29)	147.6
10-51-330 PRINTING AND POSTAGE	.00	372.91	800.00	427.09	46.6
10-51-400 TRAVEL AND TRAINING	145.00	7,733.50	6,000.00	(1,733.50)	128.9
10-51-520 FUEL AND OIL	.00	538.87	1,000.00	461.13	53.9
10-51-540 TOOLS AND SMALL EQUIPMENT	.00	460.14	250.00	(210.14)	184.1
10-51-550 TELEPHONE	.00	484.59	1,500.00	1,015.41	32.3
10-51-600 EQUIPMENT REPAIR AND MAINT	.00	919.40	2,000.00	1,080.60	46.0
10-51-740 EQUIPMENT PURCHASES	.00	2,632.50	6,000.00	3,367.50	43.9
10-51-800 TRANSFERS TO DEBT SERVICE	.00	9,132.08	9,132.00	(.08)	100.0
TOTAL BUILDING DEPARTMENT	7,052.52	100,920.43	175,523.00	74,602.57	57.5

TOWN OF COLORADO CITY
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>LAW ENFORCEMENT</u>					
10-54-110 SALARIES AND WAGES	66,708.25	684,022.20	833,868.00	149,845.80	82.0
10-54-130 EMPLOYEE BENEFITS	17,354.20	168,775.93	236,180.00	67,404.07	71.5
10-54-215 PROFESSIONAL SERVICES	868.74	23,533.62	10,000.00	(13,533.62)	235.3
10-54-230 K-9	140.00	1,280.38	5,000.00	3,719.62	25.6
10-54-240 SUPPLIES	186.87	8,477.18	12,000.00	3,522.82	70.6
10-54-250 UNIFORMS AND ACCESSORIES	270.92	8,306.32	9,000.00	693.68	92.3
10-54-330 PRINTING AND POSTAGE	.00	567.22	600.00	32.78	94.5
10-54-400 TRAVEL AND TRAINING	1,243.15	16,983.55	20,000.00	3,016.45	84.9
10-54-510 ANIMAL CONTROL	.00	1,156.43	1,500.00	343.57	77.1
10-54-520 FUEL AND OIL	3,204.42	28,224.84	41,500.00	13,275.16	68.0
10-54-530 UTILITIES	7,371.72	23,243.84	20,000.00	(3,243.84)	116.2
10-54-550 TELEPHONE	1,317.82	8,305.63	7,500.00	(805.63)	110.7
10-54-600 EQUIPMENT REPAIR AND MAINT	180.00	76,623.30	15,000.00	(61,623.30)	510.8
10-54-640 BUILDING & GROUNDS MAINTENANCE	178.06	15,430.79	5,000.00	(10,430.79)	308.6
10-54-740 EQUIPMENT PURCHASES	3,164.41	24,578.33	15,000.00	(9,578.33)	163.9
10-54-800 TRANSFERS TO DEBT SERVICE	.00	90,688.35	97,097.00	6,408.65	93.4
TOTAL LAW ENFORCEMENT	102,188.56	1,180,197.91	1,329,245.00	149,047.09	88.8
<u>MAGISTRATE COURT</u>					
10-55-110 SALARIES AND WAGES	1,482.94	14,758.20	19,270.00	4,511.80	76.6
10-55-130 EMPLOYEE BENEFITS	117.22	1,166.58	3,006.00	1,839.42	38.8
10-55-210 LEGAL	.00	54,121.84	35,000.00	(19,121.84)	154.6
10-55-215 PROFESSIONAL SERVICES	.00	34.00	500.00	466.00	6.8
10-55-240 SUPPLIES	.00	.00	300.00	300.00	.0
10-55-420 JAIL AND INDIGENT COUNCIL	1,954.10	18,828.66	15,000.00	(3,828.66)	125.5
10-55-490 CONSOLIDATED COURT IGA	57,469.00	57,469.00	70,000.00	12,531.00	82.1
10-55-740 COURT ENHANCEMENT PROJECT	.00	24,613.13	28,690.00	4,076.87	85.8
TOTAL MAGISTRATE COURT	61,023.26	170,991.41	171,766.00	774.59	99.6

TOWN OF COLORADO CITY
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>EMERGENCY DISPATCH</u>					
10-57-110 SALARIES AND WAGES	26,189.29	278,604.81	379,929.00	101,324.19	73.3
10-57-130 EMPLOYEE BENEFITS	5,332.09	47,658.49	94,446.00	46,787.51	50.5
10-57-210 LEGAL	.00	1,086.50	.00	(1,086.50)	.0
10-57-215 PROFESSIONAL SERVICES	1,447.89	28,054.77	15,000.00	(13,054.77)	187.0
10-57-240 SUPPLIES	54.91	949.05	2,720.00	1,770.95	34.9
10-57-250 UNIFORMS AND ACCESSORIES	.00	1,034.27	2,000.00	965.73	51.7
10-57-310 LICENSES & MISC FEES	294.00	294.00	.00	(294.00)	.0
10-57-330 PRINTING AND POSTAGE	.00	79.20	300.00	220.80	26.4
10-57-400 TRAVEL AND TRAINING	4,484.16	14,459.53	6,000.00	(8,459.53)	241.0
10-57-550 TELEPHONE	115.65	1,887.83	3,500.00	1,612.17	53.9
10-57-570 GIS/MAPPING PROGRAM	.00	1,654.00	2,500.00	846.00	66.2
10-57-580 CAD PROGRAM	.00	.00	6,000.00	6,000.00	.0
10-57-600 EQUIPMENT REPAIR AND MAINT	.00	2,528.29	7,500.00	4,971.71	33.7
10-57-740 EQUIPMENT PURCHASES	.00	3,151.88	10,000.00	6,848.12	31.5
10-57-800 TRANSFERS TO DEBT SERVICE	.00	8,977.50	.00	(8,977.50)	.0
TOTAL EMERGENCY DISPATCH	37,917.99	390,420.12	529,895.00	139,474.88	73.7
<u>PARKS AND RECREATION</u>					
10-70-110 SALARIES AND WAGES	5,339.39	48,567.49	52,640.00	4,072.51	92.3
10-70-130 EMPLOYEE BENEFITS	1,703.09	14,028.64	18,394.00	4,365.36	76.3
10-70-215 PROFESSIONAL SERVICES	.00	118.60	500.00	381.40	23.7
10-70-240 SUPPLIES	931.43	4,022.15	2,579.00	(1,443.15)	156.0
10-70-400 TRAVEL AND TRAINING	1,397.93	3,530.96	1,500.00	(2,030.96)	235.4
10-70-500 EQUIPMENT RENTAL AND LEASE	.00	.00	500.00	500.00	.0
10-70-520 FUEL AND OIL	334.73	3,751.02	2,000.00	(1,751.02)	187.6
10-70-530 UTILITIES	701.91	7,814.33	15,000.00	7,185.67	52.1
10-70-540 TOOLS AND SMALL EQUIPMENT	629.78	2,731.94	2,000.00	(731.94)	136.6
10-70-600 EQUIPMENT REPAIR AND MAINT	179.23	2,478.45	3,000.00	521.55	82.6
10-70-640 BUILDING & GROUNDS MAINTENANCE	.00	431.40	10,000.00	9,568.60	4.3
10-70-740 EQUIPMENT PURCHASES	.00	.00	5,000.00	5,000.00	.0
10-70-750 CAPITAL IMPROVEMENTS	.00	.00	10,000.00	10,000.00	.0
TOTAL PARKS AND RECREATION	11,217.49	87,474.98	123,113.00	35,638.02	71.1

TOWN OF COLORADO CITY
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2024

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>AIRPORT</u>					
10-72-110 SALARIES AND WAGES	600.00	5,400.00	10,238.00	4,838.00	52.7
10-72-130 EMPLOYEE BENEFITS	49.84	634.40	647.00	12.60	98.1
10-72-200 AIRPORT MANAGER CONTRACT	4,800.00	43,200.00	57,600.00	14,400.00	75.0
10-72-240 SUPPLIES	202.86	1,746.56	2,500.00	753.44	69.9
10-72-250 PROFESSIONAL\ENGINEERING	.00	11,712.50	5,000.00	(6,712.50)	234.3
10-72-310 LICENSES & MISC FEES	.00	3.00	5,500.00	5,497.00	.1
10-72-350 INSURANCE	.00	3,600.00	3,700.00	100.00	97.3
10-72-400 TRAVEL AND TRAINING	.00	2,676.89	5,000.00	2,323.11	53.5
10-72-520 FUEL AND OIL	.00	1,616.98	1,800.00	183.02	89.8
10-72-530 UTILITIES	1,448.78	11,984.62	12,000.00	15.38	99.9
10-72-550 TELEPHONE	43.12	343.61	750.00	406.39	45.8
10-72-600 EQUIPMENT REPAIR & MAINTENANCE	4.11	3,798.97	5,000.00	1,201.03	76.0
10-72-640 BUILDING & GROUNDS MAINTENANCE	455.00	2,400.27	5,000.00	2,599.73	48.0
10-72-740 EQUIPMENT PURCHASES	.00	16,228.27	5,000.00	(11,228.27)	324.6
10-72-750 CAPITAL IMPROVEMENTS	.00	.00	30,000.00	30,000.00	.0
TOTAL AIRPORT	7,603.71	105,346.07	149,735.00	44,388.93	70.4
<u>COMMUNITY DEVELOPMENT</u>					
10-78-210 ECONOMIC DEVELOPMENT	.00	.00	1,000.00	1,000.00	.0
10-78-300 INDUSTRIAL PARK IMPROVEMENTS	.00	.00	30,000.00	30,000.00	.0
10-78-490 CAPITAL IMPROVEMENT PROJECTS	27,530.51	368,646.47	745,000.00	376,353.53	49.5
10-78-710 CONTINGENCIES	9,000.00	100,558.78	100,000.00	(558.78)	100.6
10-78-720 COURT OVERSIGHT CONTINGENCY	2,600.00	59,128.68	78,160.00	19,031.32	75.7
10-78-730 RISK MANAGEMENT CONTINGENCY	.00	.00	100,000.00	100,000.00	.0
TOTAL COMMUNITY DEVELOPMENT	39,130.51	528,333.93	1,054,160.00	525,826.07	50.1
TOTAL FUND EXPENDITURES	321,285.20	3,325,573.32	4,470,418.00	1,144,844.68	74.4
NET REVENUE OVER EXPENDITURES	111,809.51	197,116.70	16,131.00	(180,985.70)	1222.0

TOWN OF COLORADO CITY
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 9 MONTHS ENDING MARCH 31, 2024

HIGHWAY USERS FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>INTERGOVERNMENTAL REVENUE</u>					
20-33-400 HIGHWAY USER REVENUE FUND	21,375.05	208,682.44	292,605.00	83,922.56	71.3
20-33-500 SPECIAL PROJECTS	.00	.00	60,000.00	60,000.00	.0
TOTAL INTERGOVERNMENTAL REVENUE	21,375.05	208,682.44	352,605.00	143,922.56	59.2
TOTAL FUND REVENUE	21,375.05	208,682.44	352,605.00	143,922.56	59.2

TOWN OF COLORADO CITY
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 9 MONTHS ENDING MARCH 31, 2024

HIGHWAY USERS FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>STREETS & ROADS EXPENDITURES</u>					
20-60-110 SALARIES AND WAGES	22,740.64	225,809.36	293,714.00	67,904.64	76.9
20-60-130 EMPLOYEE BENEFITS	7,180.68	66,109.30	102,546.00	36,436.70	64.5
20-60-240 SUPPLIES	334.95	21,401.21	17,682.00	(3,719.21)	121.0
20-60-250 PROFESSIONAL\ENGINEERING	289.57	4,859.33	5,000.00	140.67	97.2
20-60-280 ROAD MATERIALS/PAVING	.00	34,782.86	67,600.00	32,817.14	51.5
20-60-310 LICENSES AND MISC FEES	108.05	5,248.60	10,000.00	4,751.40	52.5
20-60-330 PRINTING AND POSTAGE	.00	42.60	.00	(42.60)	.0
20-60-400 TRAVEL AND TRAINING	442.90	5,050.79	7,000.00	1,949.21	72.2
20-60-500 EQUIPMENT RENTAL & LEASE	.00	.00	2,000.00	2,000.00	.0
20-60-520 FUEL AND OIL	7,122.10	45,982.55	60,000.00	14,017.45	76.6
20-60-530 UTILITIES	2,646.73	15,162.38	36,000.00	20,837.62	42.1
20-60-535 STREET LIGHTS	737.26	6,255.74	7,500.00	1,244.26	83.4
20-60-540 TOOLS AND SMALL EQUIPMENT	109.97	13,259.90	5,000.00	(8,259.90)	265.2
20-60-550 TELEPHONE	39.52	1,040.69	1,600.00	559.31	65.0
20-60-600 EQUIPMENT REPAIR AND MAINT	4,094.29	64,250.81	55,000.00	(9,250.81)	116.8
20-60-640 BUILDING & GROUNDS MAINTENANCE	301.75	7,848.50	5,000.00	(2,848.50)	157.0
20-60-740 EQUIPMENT PURCHASES	.00	64,480.16	25,000.00	(39,480.16)	257.9
20-60-745 SPECIAL PROJECTS	.00	.00	60,000.00	60,000.00	.0
20-60-800 TRANSFERS TO DEBT SERVICE	.00	102,988.03	115,581.00	12,592.97	89.1
TOTAL STREETS & ROADS EXPENDITURES	46,148.41	684,572.81	876,223.00	191,650.19	78.1
TOTAL FUND EXPENDITURES	46,148.41	684,572.81	876,223.00	191,650.19	78.1
NET REVENUE OVER EXPENDITURES	(24,773.36)	(475,890.37)	(523,618.00)	(47,727.63)	(90.9)

Report Criteria:

Invoices with totals above \$0.00 included.
Paid and unpaid invoices included.

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
218	AZ DEPT OF REVENUE/US	FEBRUARY 20	SALES & TPT	03/14/2024	2,889.00	2,889.00	03/21/2024
232	AZ STATE TREASURER/COURT	FEBRUARY 20	FINES REMITTANCE	03/15/2024	3,134.73	3,134.73	03/21/2024
880	MOHAVE COUNTY TREASURER	FEBRUARY 20	COURT SERVICES	03/15/2024	20.19	20.19	03/21/2024
1739	ALLIED BENEFIT SYSTEMS INC	0000878184	INSURANCE PREMIUM	03/21/2024	26,774.29	26,774.29	03/21/2024
1186	GUARDIAN LIFE INSURANCE C	MARCH 2024	Life, Dental, and Vision Insurance	03/14/2024	5,053.16	5,053.16	03/21/2024
Total :					37,871.37	37,871.37	
120	ADVANCED NETWORK CONSUL	2728	ADMIN	03/14/2024	1,272.55	1,272.55	03/21/2024
120	ADVANCED NETWORK CONSUL	2729	ADMIN	03/14/2024	893.63	893.63	03/21/2024
120	ADVANCED NETWORK CONSUL	2731	ADMIN	03/21/2024	440.03	440.03	03/27/2024
666	HINTON BURDICK	300311	Billing for 2023 Audit	03/01/2024	3,500.00	3,500.00	03/13/2024
1791	KRS MANUFACTURING	88	Name Plate	03/11/2024	175.00	175.00	03/13/2024
1004	PURE PH8, INC.	100900	WATER DELIVERY SERVICE TO	03/13/2024	25.14	25.14	03/21/2024
1004	PURE PH8, INC.	101008	City Hall 5 gal and 16.9oz water b	03/27/2024	39.15	39.15	03/29/2024
2082	Zitting, Shirley	REIMBURSE F	Reimbursement for Town Ink Pads	03/21/2024	20.82	20.82	03/21/2024
172	ARIZONA HIGHWAYS	2024 3YR REN	SUBSCRIPTION RENEWAL	03/29/2024	59.00	.00	
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Dropbox Business Account Rene	03/21/2024	2,189.38	2,189.38	03/21/2024
1902	EMPOWER RETIREMENT	396382	QRTLTY EXPENSE CHARGE	03/18/2024	500.00	500.00	03/22/2024
1940	US DEPARTMENT OF THE TRE	LATE FEE NO	Late Fee	03/11/2024	666.75	666.75	03/21/2024
2068	FedEx	8-430-99829	SHIPPING- ADMIN	03/07/2024	69.21	69.21	03/13/2024
310	BARLOW, VANCE	PSPRS CONF	TRAVEL	03/07/2024	89.70	89.70	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	WC Managers Luncheon	03/21/2024	13.84	13.84	03/21/2024
2037	REAM, HOWARD S.	RECORDERS	TRAVEL	03/26/2024	106.95	106.95	03/29/2024
660	HILDALE CITY	3/7-3324001	UTILITY SERVICE - Town Hall	03/07/2024	532.77	532.77	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Quick Quack Carwash February	03/21/2024	35.99	35.99	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Quick Quack Carwash March	03/21/2024	35.99	35.99	03/21/2024
1712	BASIC AMERICAN SUPPLY	596215	Credit for return of hinges	03/01/2024	43.42-	.00	
1712	BASIC AMERICAN SUPPLY	603897	Wood filler for office and bolts	03/27/2024	11.87	.00	
2134	BLAZING SANDZ LLC	1133	Framing for Lactation Rm	03/01/2024	120.00	120.00	03/13/2024
2121	NATIONAL BUSINESS FURNITU	MK602384-OT	Keyboard Tray for Rosies Desk	03/01/2024	85.99	85.99	03/27/2024
Total ADMINISTRATIVE:					10,840.34	10,812.89	
1012	QUILL CORPORATION	37856892	SUPPLIES	03/23/2024	77.24	77.24	03/27/2024
1012	QUILL CORPORATION	37944968	Ink Pad	03/28/2024	8.48	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	International Code Council Renew	03/21/2024	145.00	145.00	03/21/2024
Total BUILDING DEPARTMENT:					230.72	222.24	
120	ADVANCED NETWORK CONSUL	2728	POLICE	03/14/2024	424.18	424.18	03/21/2024
120	ADVANCED NETWORK CONSUL	2729	POLICE	03/14/2024	297.88	297.88	03/21/2024
120	ADVANCED NETWORK CONSUL	2731	POLICE	03/21/2024	146.68	146.68	03/27/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	K-9 Handler Subscription	03/21/2024	140.00	140.00	03/21/2024
1712	BASIC AMERICAN SUPPLY	589740B	Mouse Traps	03/01/2024	22.22	22.22	03/26/2024
1712	BASIC AMERICAN SUPPLY	590563B	Batteries	03/01/2024	27.56	27.56	03/26/2024
1074	SALT LAKE WHOLESALE SPOR	95875	AMMUNITION	03/01/2024	118.30	118.30	03/21/2024
2069	THE UNIFORM CENTER	160289-1	Uniform Alterations	03/01/2024	60.00	60.00	03/21/2024
2069	THE UNIFORM CENTER	160846-1	Dustin Shear Uniforms	03/01/2024	192.13	192.13	03/21/2024
2069	THE UNIFORM CENTER	161025-1	Uniform Patches	03/01/2024	18.79	18.79	03/21/2024
2055	Davis, Jeff Scott	MARCH SRO T	Travel and Training for SRO	03/08/2024	244.95	244.95	03/13/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Audible Book	03/21/2024	6.51	6.51	03/21/2024
1855	EL CAPITAN PUBLIC SCHOOL	2324-133	Nov 23- Feb 24 Utilities	03/25/2024	6,452.72	6,452.72	03/27/2024
660	HILDALE CITY	3/7-3116100	UTILITY SERVICE - Police Statio	03/07/2024	865.00	865.00	03/21/2024
660	HILDALE CITY	3/7-3841201	UTILITY SERVICE - IMPOUND	03/07/2024	54.00	54.00	03/21/2024
2040	AT&T MOBILITY	287306783077	TELEPHONE	03/01/2024	1,208.99	1,208.99	03/21/2024
974	CARQUEST OF HILDALE	15048-156464	OIL Change Supplies for 1117	03/08/2024	45.95	45.95	03/21/2024
974	CARQUEST OF HILDALE	15048-157364	OIL Change Supplies for 3086	03/19/2024	43.53	43.53	03/21/2024
974	CARQUEST OF HILDALE	15048-157462	OIL Change Supplies for 1120	03/20/2024	93.67	93.67	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Battery return for PD Laptop	03/21/2024	74.80-	74.80-	03/21/2024
2027	KEN GARFF ST. GEORGE FORD	4623350	PARTS FOR 1102	03/01/2024	71.65	71.65	03/21/2024
1968	HORIZON TECHNOLOGIES INC.	3450	Earphone and mic for PD radios	03/07/2024	3,164.41	3,164.41	03/13/2024
Total LAW ENFORCEMENT:					13,624.32	13,624.32	
392	CATHY JOHNSTONE, ESQ. P.C.	03212024	LEGAL	03/21/2024	1,954.10	1,954.10	03/27/2024
870	MOHAVE CO. JUSTICE COURTS	FY 2023-2024	IGA CONSOLIDATED COURT FY	03/15/2024	57,399.00	57,399.00	03/21/2024
1377	WASH. CO. SHERIFF'S OFFICE	FEBRUARY 20	INMATE HOUSING	03/01/2024	70.00	70.00	03/13/2024
Total MAGISTRATE COURT:					59,423.10	59,423.10	
120	ADVANCED NETWORK CONSUL	2728	DISPATCH	03/14/2024	706.97	706.97	03/21/2024
120	ADVANCED NETWORK CONSUL	2729	DISPATCH	03/14/2024	496.46	496.46	03/21/2024
120	ADVANCED NETWORK CONSUL	2731	DISPATCH	03/21/2024	244.46	244.46	03/27/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Kuerig Cups for Dispatch	03/21/2024	16.52	16.52	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Kuerig cups for Dispatch	03/21/2024	38.39	38.39	03/21/2024

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
986	PRIORITY DISPATCH	SIN344313	ESP License Renewal	03/01/2024	147.00	147.00	03/21/2024
986	PRIORITY DISPATCH	SIN350767	MPDS Backup Carset License ES	03/01/2024	147.00	147.00	03/21/2024
1743	BARLOW, LUCILLE A.	SSA TRAINING	SSA TRAINING	03/15/2024	244.95	244.95	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Fuel for SAA Training	03/21/2024	57.50	57.50	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Hotels for SAA Training Kendrick	03/21/2024	605.88	605.88	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Hotels for SAA Training Kendrick	03/21/2024	605.88	605.88	03/21/2024
1419	JOHNSON, KENDRICK	SSA TRAINING	SSA TRAINING	03/15/2024	244.95	244.95	03/21/2024
Total EMERGENCY DISPATCH:					3,555.96	3,555.96	
1712	BASIC AMERICAN SUPPLY	597679	Supplies for Parks	03/01/2024	66.04	66.04	03/13/2024
672	HOME DEPOT CREDIT SERVIC	1611541	Spray suites	03/16/2024	64.10	64.10	03/29/2024
672	HOME DEPOT CREDIT SERVIC	1611542	Supplies	03/16/2024	147.00	147.00	03/29/2024
672	HOME DEPOT CREDIT SERVIC	5523576	Supplies for parks shop	03/02/2024	131.22	131.22	03/29/2024
710	INTERMOUNTAIN FARMERS AS	1020378832	lawn supplies	03/01/2024	523.07	523.07	03/13/2024
626	GARKANE ENERGY	3/14-1684300	Heritage Electricity	03/14/2024	124.98	124.98	03/21/2024
626	GARKANE ENERGY	3/21-1748300	Lauritzen Park - Electricity	03/21/2024	145.77	145.77	03/27/2024
660	HILDALE CITY	3/7-3121001	UTILITY SERVICE -HERITAGE P	03/07/2024	199.50	199.50	03/21/2024
660	HILDALE CITY	3/7-3322001	UTILITY SERVICE - LTZN PARK	03/07/2024	231.66	231.66	03/21/2024
1712	BASIC AMERICAN SUPPLY	599260	Keys and Locks for Parks	03/07/2024	79.43	79.43	03/13/2024
672	HOME DEPOT CREDIT SERVIC	8074665	Hammer drill bits	03/09/2024	411.59	411.59	03/29/2024
710	INTERMOUNTAIN FARMERS AS	1020379144	Seed Spreader and Sprayer	03/01/2024	138.76	138.76	03/13/2024
1712	BASIC AMERICAN SUPPLY	597761	Parts for Parks	03/01/2024	10.30	10.30	03/13/2024
974	CARQUEST OF HILDALE	15048-155534	Parts for Parks	03/01/2024	8.86	8.86	03/13/2024
974	CARQUEST OF HILDALE	15048-155548	Battery for Parks	03/01/2024	148.71	148.71	03/13/2024
974	CARQUEST OF HILDALE	15048-156971	Thread Tapehrottle Body Cleaner	03/14/2024	11.36	11.36	03/21/2024
Total PARKS AND RECREATION:					2,442.35	2,442.35	
338	BISTLINE, LADELL SR.	APRIL 2024	CONTRACT	03/27/2024	4,800.00	4,800.00	03/27/2024
1004	PURE PH8, INC.	100900	WATER DELIVERY SERVICE AI	03/13/2024	13.00	13.00	03/21/2024
1292	WESTWING AVIATION	1878	Drinks for AAC Meeting	03/01/2024	59.09	59.09	03/21/2024
1292	WESTWING AVIATION	1878	Coffee Cups	03/01/2024	9.00	9.00	03/21/2024
1292	WESTWING AVIATION	1878	Drinking water for terminals	03/01/2024	31.46	31.46	03/21/2024
1292	WESTWING AVIATION	1878	Credit	03/01/2024	36.73-	36.73-	03/21/2024
626	GARKANE ENERGY	3/21-1717100	Airport Electricity	03/21/2024	1,154.01	1,154.01	03/27/2024
660	HILDALE CITY	3/7-3136001	UTILITY SERVICE - AIRPORT	03/07/2024	294.77	294.77	03/21/2024
1292	WESTWING AVIATION	1878	Silver Suburban Carwash	03/01/2024	4.11	4.11	03/21/2024
660	HILDALE CITY	53	Weed control for airport	03/15/2024	455.00	455.00	03/21/2024
Total AIRPORT:					6,783.71	6,783.71	
2056	ARIZONA STRIP LANDFILL COR	14876	Tonnage Ticket 42124 PD	03/01/2024	116.87	116.87	03/13/2024

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
2056	ARIZONA STRIP LANDFILL COR	14877	Tonnage Ticket 42130 PD	03/01/2024	96.72	96.72	03/13/2024
1712	BASIC AMERICAN SUPPLY	598753	PD Remodel Supplies	03/05/2024	56.72	56.72	03/21/2024
1712	BASIC AMERICAN SUPPLY	598789	PD Remodel Supplies	03/05/2024	28.21	28.21	03/21/2024
1712	BASIC AMERICAN SUPPLY	602397	PD Remodel Supplies	03/20/2024	27.14	27.14	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Police Station Remodel Supplies	03/21/2024	176.40	176.40	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Police Station Remodel Supplies	03/21/2024	137.32	137.32	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Police Station Remodel Supplies	03/21/2024	154.73	154.73	03/21/2024
672	HOME DEPOT CREDIT SERVIC	24778	PD Remodel supplies for intake, d	03/07/2024	25.34	25.34	03/29/2024
672	HOME DEPOT CREDIT SERVIC	8021680	PD Remodel supplies for intake, d	03/19/2024	599.06	599.06	03/29/2024
.....							
1889	REMEDY EXCAVATING, LLC	3735	Split cost on Langford/LeBaron St	03/26/2024	9,000.00	9,000.00	03/27/2024
Total COMMUNITY DEVELOPMENT:					10,418.51	10,418.51	
Total GENERAL FUND:					145,190.38	145,154.45	
.....							
.....							
974	CARQUEST OF HILDALE	15048-156817	Quick wipes for 2806	03/12/2024	8.80	8.80	03/13/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Handheld clicker counter	03/21/2024	16.28	16.28	03/21/2024
1080	SCHOLZENS PRODUCTS COMP	6811061-00	Irrigation supplies for Hildale and	03/06/2024	112.60	112.60	03/13/2024
.....							
120	ADVANCED NETWORK CONSUL	2728	STREETS & ROADS	03/14/2024	141.39	141.39	03/21/2024
120	ADVANCED NETWORK CONSUL	2729	STREETS & ROADS	03/14/2024	99.29	99.29	03/21/2024
120	ADVANCED NETWORK CONSUL	2731	STREETS & ROADS	03/21/2024	48.89	48.89	03/27/2024
.....							
1248	UTAH BARRICADE COMPANY	35692A	Double Sided Sign Blades for Heri	03/01/2024	730.17	730.17	03/21/2024
.....							
2050	CAPITAL ONE TRADE CREDIT	53351756	Northern Tool - Renewal	03/01/2024	43.43	43.43	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Snap On Scanner Tool Sub	03/21/2024	64.62	64.62	03/21/2024
.....							
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Dust class for ADEQ	03/21/2024	442.90	442.90	03/21/2024
.....							
1292	WESTWING AVIATION	1878	FUEL100LL Avgas for Public Wor	03/01/2024	50.65	50.65	03/21/2024
.....							
626	GARKANE ENERGY	3/14-1697300	Irrigation Pump Electricity - JOHN	03/14/2024	33.18	33.18	03/21/2024
626	GARKANE ENERGY	3/14-1732300	Office Electricity	03/14/2024	859.04	859.04	03/21/2024
626	GARKANE ENERGY	3/14-1896600	Irrigation Pump Electricity - Mohav	03/14/2024	33.18	33.18	03/21/2024
626	GARKANE ENERGY	3/14-1911000	Irrigation Pump Electricity - Centra	03/14/2024	69.99	69.99	03/21/2024
626	GARKANE ENERGY	3/21-1754000	PW Shop Electricty	03/21/2024	372.67	372.67	03/27/2024
660	HILDALE CITY	3/7-3424011	UTILITY SERVICE - IRRIGATION	03/07/2024	105.00	105.00	03/21/2024
660	HILDALE CITY	3/7-3508001	UTILITY SERVICE - PW	03/07/2024	1,047.16	1,047.16	03/21/2024
660	HILDALE CITY	3/7-3835801	Cylinder Exchange	03/07/2024	21.51	21.51	03/21/2024
660	HILDALE CITY	3/7-3841501	UTILITY SERVICE - SCREEN PL	03/07/2024	105.00	105.00	03/21/2024
.....							
626	GARKANE ENERGY	3/21-1790500	Street lights	03/21/2024	737.26	737.26	03/27/2024
.....							
672	HOME DEPOT CREDIT SERVIC	9512766	Irrigation and Weed supplies	03/01/2024	109.97	109.97	03/29/2024
.....							
974	CARQUEST OF HILDALE	15048-155179	Parts for Vibro Max	03/01/2024	66.78	66.78	03/13/2024
974	CARQUEST OF HILDALE	15048-155227	Parts for 2407	03/01/2024	20.53	20.53	03/13/2024
974	CARQUEST OF HILDALE	15048-155273	Fuel Filter for 2407	03/01/2024	5.12	5.12	03/13/2024
974	CARQUEST OF HILDALE	15048-155547	Starting Fluid for 2252	03/01/2024	167.20	167.20	03/13/2024
974	CARQUEST OF HILDALE	15048-155688	OIL	03/01/2024	766.00	766.00	03/13/2024
974	CARQUEST OF HILDALE	15048-156666	Battery for 4407	03/11/2024	321.00	321.00	03/13/2024
974	CARQUEST OF HILDALE	15048-156675	Battery Core Return	03/11/2024	46.73-	46.73-	03/13/2024
974	CARQUEST OF HILDALE	15048-156933	Door Hinge Pin	03/14/2024	20.41	20.41	03/21/2024

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
974	CARQUEST OF HILDALE	15048-157356	Thread Tape	03/19/2024	5.03	5.03	03/21/2024
1702	DJB Gas Services, Inc.	01493325	Cylinder Rental	03/01/2024	57.32	57.32	03/13/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Hydraulic steering valve	03/21/2024	325.79	325.79	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024	Tagg n Go Carwash	03/21/2024	32.00	32.00	03/21/2024
2070	ELITE CARD PAYMENT CENTER	MARCH 2024B	John T Truck Repair - Newby Buic	03/21/2024	1,142.46	1,142.46	03/21/2024
1875	LAWSON PRODUCTS	9311325644	Parts for PW	03/01/2024	475.79	475.79	03/13/2024
952	PETRO WEST, INC.	163891	Green Gas Pump Nozzle for PW	03/13/2024	282.20	282.20	03/13/2024
1716	STEPHEN WADE AUTO CENTE	5575327	Parts for 2263	03/01/2024	60.98	60.98	03/13/2024
1296	WHEELER MACHINERY COMPA	PS001655905	PARTS	03/01/2024	29.84	29.84	03/13/2024
1296	WHEELER MACHINERY COMPA	PS001658009	PARTS	03/01/2024	72.00	72.00	03/13/2024
.....							
144	ALSCO	LSTG1112448	BLDG MAINT	03/01/2024	148.85	148.85	03/13/2024
144	ALSCO	LSTG1130311	BLDG MAINT	03/01/2024	148.85	148.85	03/13/2024
974	CARQUEST OF HILDALE	15048-155085	Molding Retainer	03/01/2024	4.05	4.05	03/13/2024
Total STREETS & ROADS EXPENDITURES:					9,358.45	9,358.45	
Total HIGHWAY USERS FUND:					9,358.45	9,358.45	
.....							
.....							
.....							
1712	BASIC AMERICAN SUPPLY	603622	Supplies for Wall Art	03/26/2024	6.51	6.51	03/27/2024
Total EXPENDITURES:					6.51	6.51	
Total RD INFRASTRUCTURE GRANT:					6.51	6.51	
.....							
.....							
.....							
380	CANAAN PEAKS ENGINEERING	240301	ENGINEERING South Hildale St	03/20/2024	3,098.90	3,098.90	03/27/2024
Total EXPENDITURES:					3,098.90	3,098.90	
Total CDBG RA SOUTH HILDALE STREET:					3,098.90	3,098.90	
.....							
.....							
.....							
2052	SARATOGA RACK MARKETING,	IN0002057095	DIESEL FUEL/ UNLEADED FUEL	03/22/2024	35,001.86	35,001.86	03/27/2024
Total EXPENDITURES:					35,001.86	35,001.86	
.....							
.....							
.....							
120	ADVANCED NETWORK CONSUL	2728	LANDFILL	03/14/2024	282.79	282.79	03/21/2024
120	ADVANCED NETWORK CONSUL	2729	LANDFILL	03/14/2024	198.59	198.59	03/21/2024
120	ADVANCED NETWORK CONSUL	2731	LANDFILL	03/21/2024	97.79	97.79	03/27/2024
1364	BUCK'S ACE HARDWARE	353042	Keys for Landfill	03/01/2024	21.30	21.30	03/13/2024
974	CARQUEST OF HILDALE	15048-154223	Supplies for Landfill	03/01/2024	847.88	847.88	03/13/2024
Total LANDFILL CORP:					1,448.35	1,448.35	
Total INTERNAL SERVICE FUND:					36,450.21	36,450.21	
Grand Totals:					194,104.45	194,068.52	

<u>Vendor</u>	<u>Vendor Name</u>	<u>Invoice Number</u>	<u>Description</u>	<u>Invoice Date</u>	<u>Net Invoice Amount</u>	<u>Amount Paid</u>	<u>Date Paid</u>
---------------	--------------------	-----------------------	--------------------	---------------------	---------------------------	--------------------	------------------

Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

Report Criteria:

Invoices with totals above \$0.00 included.

Paid and unpaid invoices included.
